

Application #

LPC 180009

SZADMINI 80006

NORTHFIELD TOWNSHIP

SITE PLAN REVIEW APPLICATION

PROJECT NAME: LPC PROPERTY: LITTLEFISH

PROJECT ADDRESS: 6425 MAIN STREET WHITMORE LAKE, MI

Applicant Information: SAME AS OWNER

Owner Information:

Name:

Name: ERIC MATTHEWS

Address:

Address: 5373 MILITARY AVE BRIGHTON 48116

Phone:

Phone: 734.637.5844

Email:

Email: ANGELMATTHEWS@COMCAST.NET

If the applicant is not the property owner, then a statement from the owner **MUST** be attached authorizing the application.Proof of ownership **OR** Statement if applicant is not owner is attached. ☐

If applicant is not the owner, describe applicant's interest in the property

PROPERTY DESCRIPTION

Legal Description: ☐ Attached ☐ On Site Plan

Parcel ID(s): B0208327002

Description of Proposed Use: RETAIL PROJECT IS TENANT BUILDOUT FOR LITTLEFISH DESIGN. LITTLEFISH SELLS COMMERCIAL SIGN SYSTEMS.

Total Acreage of Site: .5 ACRES

Total Floor Area: 1600 SQ. FT.

Existing: 1600 SQ. FT.

Proposed: 1600 SQ. FT.

Height of Structure(s) (in stories & feet):

ONE STORY - 12 FEET 7 INCHES

Sanitary Facilities: ☒ Sewer ☐ SepticWater: ☐ Municipal ☒ Private Well

Zoning Classification(s):

☐ RC ☐ AR ☐ LR ☐ SR1 ☐ SR2 ☐ MR ☐ VC ☐ LC ☒ AGC ☐ ES ☐ HC ☐ GI ☐ LI ☐ Other _____

SITE PLAN REVIEW OPTIONS

Administrative Site Plan Review:

- ☐ Expansion or reduction of an existing, conforming structure less than 2,000 sq. ft. / 5% of floor area
- ☐ Additional parking, loading / unloading spaces and landscape improvements

☒ OTHER: INTERIOR TENANT BUILD OUT

Site Plan Review:

- ☐ New Construction
- ☐ Building Addition

Development Plan Review:

- ☐ Planned Unit Development
- ☐ Planned Residential Development
- ☐ Site Condominium Plan

Amendment to Approved Site Plan or Development Plan:

- ☐ Site Plan
- ☐ Development Plan

Site or Development Plan Review in conjunction with: ☐ Rezoning Request ☐ Special Land Use Request

MYERS & MYERS, PLLC
ATTORNEYS AT LAW

Kelly A. Myers
Roger L. Myers *
*Also Admitted to Practice in California

915 N. Michigan Avenue
Suite 200
Howell, Michigan 48843

Matthew M. Hagerty
Rebecca J.S. Cassell
Robert F. Marvin
Michael A. Bussert

(517) 540-1700
Fax: (517) 540-1701

March 13, 2019

VIA ELECTRONIC MAIL ONLY

McKenna & Associates
Attention: **Mr. M. Paul Lippens, AICP, NCI**
235 E. Main Street, Suite 105
Northville, MI 48167

RE: 8425 Main Street, Whitmore Lake, MI; Revised Site Plan of Littlefish
Design; Performance Guaranty

Dear Mr. Lippens,

Thank you again for the courtesy of meeting with me, my client, and Gary Streight at the Washtenaw County Road Commission (WCRC) at the Township Public Safety Building last week. As you are aware, Angela Matthews, on behalf of Littlefish Design, has commissioned her engineer, PEA, to submit revised site plan drawings (revised 3-11-19, job no. 2018-260) addressing the on-site parking as a result of the aforementioned meeting. Sets of those drawings are being delivered to the Township and the WCRC. It is my understanding that the Township Planning Commission will again take up for consideration a vote on the site plan as revised at its meeting next week. It is believed that the revisions adequately address both parking circulation on site, and the concerns raised by the WCRC with regard to use of the public right of way, which also were discussed during the conditional approval when this site plan was last before the Planning Commission.

Based on my client's substantial investment in remodeling the building and site and work space needs for her hospital clientele, time is of the essence for a temporary certificate of occupancy. It is hoped therefore that if the Planning Commission takes favorable action with regard to the revised site plan, that the Township can immediately schedule a building inspection and a temporary certificate of occupancy can be issued. In that regard, Ms. Matthews is prepared to submit the appropriate performance guaranty (i.e., performance bond/letter of credit) as may be recommended by the Township engineer to ensure that the site improvements as delineated on the revised site plan are timely completed, inspected, and approved in

accordance with Northfield Township Ordinance requirements and requirements of those other governmental agencies having jurisdiction.

I thank you again for your continued assistance in bringing my client's project to fruition, as it will benefit not only her expanding business portfolio, but the Township at large.

Respectfully,



Matthew M. Hagerty
Direct Dial: (517) 376-4018

MMH/hs

Enclos.

Cc: Client; Mary Bird, Northfield Township



March 15, 2019

Mary Bird
Zoning Coordinator
Northfield Township
8350 Main Street
Whitmore Lake, MI 48189-0576

Subject: Littlefish Design/8425 Main Street; Site Plan Review #2; site plan dated 9/17/18, and revised 3/11/19.

Dear Ms. Bird:

We have reviewed the above referenced site plan approval application submitted by Angela Mathews of Littlefish Design to operate a professional/general office use in the GC (General Commercial) District.

ZONING AND USE

The proposed use is a professional/general office use (graphics and architectural design studio). The application notes that the existing site and structures will remain and will be renovated for the tenant. Professional offices are permitted as principal uses in the GC district per Section 36-390 (2) of the Zoning Ordinance. Littlefish Design provides specializes in design build services for wayfinding in the healthcare and business office environments.

Background. Since the proposal does not add any square footage to the structure, the change of use was initially reviewed under the provisions of Section 36-865 for administrative review and approval by the Zoning Administrator. The Zoning Administrator made recommendations on the proposed parking layout to eliminate spaces placed within Main Street right-of-way, which were not acceptable to the applicant. As a result, the Zoning Administrator forwarded to plan to the Planning Commission for their consideration. At its December 5, 2018 meeting, the Planning Commission granted site plan approval subject to conditions, one of which included Washtenaw County approval of the proposed parking within Main Street. In a letter dated 1/25/19 and a subsequent meeting, the County denied the applicant permission to place spaces within the public right-of-way. As a result of this denial, the plan approved by the Planning Commission was no longer valid, and the applicant was required to re-submit corrected plans for approval. At this time, the applicant has submitted revised plans in compliance with the County's directions for approval.

COMMENTS

I have reviewed the site plan submitted for compliance with ordinance standards listed in Section 36-342 (b) and sounds planning and design principles and have the following comments:

1. **Lot Dimensions.** The minimum lot size and width requirement in the GC district are 1 acre and 80 feet, respectively. With a lot area of 0.594 acres and lot width of approximately 99 feet, the site is nonconforming, and would be considered as a non-conforming lot of record. The parcel technically goes to the centerline of the roadway, however, the right-of-way (ROW) easement extends 25 feet in both directions from the centerline. The right-of-way is controlled by Washtenaw County Road Commission (WCRC). As noted

previously, the County has denied the applicant any use of the right-of-way for parking. All site improvements are shown located on-site.

2. **Setbacks.** The required front, side and rear yard setbacks are 35 feet, 20 feet and 20 feet respectively. The site has a large existing single story building along its frontage, placed at the following setbacks: front – 19.15'; sides 26.13 and 23.38' and rear – 196.5 feet, respectively, making it an existing non-conforming structure. The site also has a barn located towards the rear of the site, which appears to comply with the setbacks. Section 36-901 of the Zoning Ordinance regulates non-conforming structures. The applicant is proposing no expansions to the existing structure; therefore, the non-conformity is not being increased and the use of the structure may continue; however, changes must be made to decrease the degree of non-conformity of the site to the extent feasible.
3. **Pedestrian Circulation.** The site plan indicates a sidewalk on the east side of the office building. The width of the sidewalk is noted at 5 ft.
4. **Vehicular circulation.** The site has two (2) existing access drives placed on the north and south ends of the frontage along Main Street. The plan proposes a one-way circulation path with vehicles entering from the north access drive and exiting from the south access drive. The circular access drive is to be constructed of asphalt with the approaches to be "heavy duty asphalt". The plan notes that no 'permanent pavement markings' will be provided. The plan shows two-way drive on the north and a one-way exit on the south with one-way circulation around the building. In a meeting with the Washtenaw Road Commission, one-way circulation was discussed. In order to prevent vehicles from entering/exiting on the wrong approach, we recommend that pavement striping be provided and one-way circulation movement. We understand the request for a two-way entrance in the north and defer to the Washtenaw County Road Commission and the Township Engineers opinion on the north driveway. The revised plan includes 3 parking spaces parallel to the building façade. The area between the parking spaces and the edge of pavement on Main Street is to be provided with low ground cover, as required by the County. Any work done within the right-of-way would require permitting and approval from Washtenaw County Road Commission.
5. **Parking.** Parking requirement for professional offices is one (1) space per 200 square feet of gross floor area. The site plan notes 9 spaces for the 1,785 s. f. building, which meets requirements for the use. No parking is provided for the existing 2,404 s. f. barn on the rear of the property. The Planning Commission had previously conditioned approval upon provision of one additional space at the rate of 1 space per 2,000 s. f. for warehousing/storage use; however, the required space is not shown. We believe that an additional parallel space could be fit west of space number five. Further, the parking calculations data table has not been updated and still notes "5 spaces in front of building". Conflicting notes must be corrected to ensure a site plan with consistent information.
6. **Loading.** The required loading space is shown dimensioned on the west side of the barn. A truck circulation diagram has been submitted and is acceptable.
7. **Landscaping.** The site has minimal landscaping at the present time. The landscape plan indicates several landscape areas on the site with spaces marked "plantings by owner". Three trees are shown along the west property line abutting US-23, which the applicant proposes will meet the parking lot landscaping requirement of two trees. The plan includes a notation of landscape maintenance. The following items regarding



landscaping must be addressed which were previously listed as conditions of approval by the Planning Commission and have not changed:

- a. The “plantings by owner” must include detailed listing of plant species, number and size at the time of planting. Proposal to plant some seasonal flowers can be noted as such; however, the landscaping should also include shrubs, trees and perennials, we would accept this information to be provided in a letter from the applicant.
 - b. Clarify what is proposed as ground cover along the site’s frontage.
 - c. The plan states that landscaping will be irrigated as necessary “until they are established”. There must be a regular watering schedule to ensure long term viability of the plantings which affects the site’s appearance.
 - d. Clarify the surface material for the hardscape patio area and provide details for type and color of pavers proposed. The applicant previously presented several “inspiration ideas” at the PC meeting, but the actual product to be used must be specified.
8. **Dumpster and Outdoor Storage.** The plan continues to note that “Trash Disposal will be of curbside service.” The Planning Commission had previously conditioned approval, requiring more detail on the waste removal method and screening is required to be added to the site plan per 36-701 (3). A trash bin and recycling bin is shown at the rear of the site in a location the will be adequately screened from public view. A note states that no outdoor storage of materials or equipment will take place on the site.,
9. **Lighting.** The revised site plan still includes no information regarding site lighting. Location and details of all existing and proposed fixtures must be noted. All fixtures must be downward directed and shielded with a concealed light source. Existing fixtures without shielding must be replaced or provide with shielding to bring it into compliance. We will accept this information in a letter from the applicant if the applicant provides a sketch reference of lighting locations and specs for lamps.
10. **Signage.** A note on the plan states that the existing sign will remain. We have no details on the existing sign or if it conforms to district sizing and placement regulations. We that the change of sign copy may be approved later but there will be an additional sign permit application and fees. We recommend that the information (including but not limited to sign location, size, design and illumination) be submitted at this time for approval as part of the site plan, it may be submitted under a separate application.
11. **Architecture.** The applicant has submitted no formal elevations but has submitted a building and site overview packet was submitted showing photos of the existing building and concepts for the renovation. The plan presented before PC showed proposed site improvements, mainly dealing with the interior of the building and renderings of the exterior with parking in front. Updated elevations must be submitted. Since the PC review of the project, the applicant has made some minor changes to the exterior façade of the building, which must also be reflected in the updated elevations. Information regarding any proposed changes to the structures, including but not limited to awning installation, window/door replacement and painting etc., must be noted. We would accept this information in a narrative letter from the applicant that shows materials and sketches when applicable.



RECOMMENDATION AND FINDINGS

Since the Planning Commission's action to grant conditional site plan approval, the applicant has sought approval from WCRC for parking within the r-o-w, which was denied. The revised plan submission at this time did not address all the information pertaining to the other conditions placed on the approval by the Planning Commission.

The applicant is seeking a PC approval and a temporary certificate of occupancy. However, the Township does not even have a full set of plans with the final information on it. Therefore, we recommend the Planning Commission grant approval to the site plan for Littlefish Design to be located at 8425 Main Street, subject to the following conditions:

1. Notation of permanent pavement striping indicating direction of circulation, as noted in Comment 4, above, or approval of proposed configuration by WCRC.
2. Provision of one (1) additional parking space and correcting parking calculations, as noted in Comment 5, above.
3. Submission of an updated landscape plan, or a detailed letter, addressing issues noted in Comment 7, above.
4. Information regarding lighting, or a detailed letter, as noted in Comment 9, above.
5. Submission of proper elevations indicating proposed changes to building facades, or a detailed letter, as noted in Comment 11, above.
6. Compliance with Township Engineer and WCRC requirements.
7. A performance guarantee is provided to the Township for site improvements prior to granting a Temporary Certificate of Occupancy.

The conditions noted above must be addressed on revised and dated set of plans submitted for final review by administration, prior to granting of any Temporary Certificate of Occupancy.

Respectfully submitted,

McKENNA



Paul Lippens, AICP, NCI
Director of Urban Design and Mobility





MCKENNA

October 5, 2018

Mary Bird
Zoning Coordinator
Northfield Township
8350 Main Street
Whitmore Lake, MI 48189-0576

Subject: Littlefish Design/8425 Main Street; Administrative Site Plan Review #1; site plan dated 9/17/18.

Dear Ms. Bird:

We have reviewed the above referenced site plan approval application submitted by Eric Mathews on behalf of Littlefish Design to operate a professional/general office use in the GC (General Commercial) District.

ZONING AND USE

The proposed use is a professional/general office use (graphics and architectural design studio). The application notes that the existing site and structures will remain and will be renovated for the tenant. Professional offices are permitted as principal uses in the GC district per Section 36-390 (2) of the Zoning Ordinance. The site plan notes that the proposed use will also include "retail sales". Clarify what type of sales are intended or proposed i.e., specify materials available for purchase, if it is related to the professional office business, open to general public etc.

Since the proposal does not add any square footage to the structure, *the change of use can be administratively granted by the Zoning Administrator under the provisions of Section 36-865.*

COMMENTS

I have reviewed the site plan submitted for compliance with ordinance standards listed in Section 36-342 (b) and sounds planning and design principles and have the following comments:

1. **Lot Dimensions.** The minimum lot size and width requirement in the GC district are 1 acre and 80 feet, respectively. With a lot area of 0.594 acres and lot width of approximately 99 feet, the site is nonconforming, and would be considered as a non-conforming lot of record. The location of the property line along Main Street must be clarified. The site plan shows the property line extending into several lanes of Main Street right-of-way. If there is an easement it must be so noted.
2. **Setbacks.** The required front, side and rear yard setbacks are 35 feet, 20 feet and 20 feet respectively. The site has a large existing single story building along its frontage, placed at the following setbacks: front – 19.15'; sides 26.13 and 23.38' and rear – 196.5 feet, respectively, making it an existing non-conforming structure. The site also has a barn located towards the rear of the site, which appears to comply with the setbacks. Section 36-901 of the Zoning Ordinance regulates non-conforming structures. The applicant is proposing no expansions to the existing structure; therefore, the non-conformity is not being increased and

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235 East Main Street
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MCKA.COM

Communities for real life.

the use of the structure may continue; however, changes must be made to decrease the degree of non-conformity of the site to the extent feasible.

3. **Pedestrian Circulation.** The site plan indicates a sidewalk on the east side of the office building. The width of the sidewalk must be noted, and it must be designed to a width of 5' to allow for public and barrier free access.
4. **Vehicular circulation.** The site has an expanse of pavement with no green space or defined access drive along its frontage. Access is provided by means of paved area on the north and south sides of the building. We had previously met with the applicant to discuss the improvements that would be required to the site's frontage and access; however, none of those improvements discussed are shown on the site plan proposed. The following items must be addressed:
 - a. The frontage cannot remain as pavement with parking spaces encroaching on the public right-of-way. The required setback for parking is 10 feet. While this is an existing non-conformity, it is an issue that can be corrected. The parking must be removed and a landscape area created between the building frontage and the property line.
 - b. The circulation drives must be clearly delineated.
 - c. All areas of pavement (asphalt or concrete) and gravel need to be clearly differentiated and shown on the plan.
 - d. Circulation route must be shown through pavement signage or striping.
 - e. The handicap accessible space cannot be placed in a manner that would require the right-of-way for maneuvering. The applicant was previously directed to place the barrier free space aligned north-south, with all other parking placed along the sides and rear of the building. This handicap parking space will likely be within the 10 foot required setback; however the overall nonconformity of the site will be reduced.
 - f. Areas of new pavement or grading will require Township Engineer's review and approval.
5. **Parking.** Parking requirement for professional offices is one (1) space per 200 square feet of gross floor area. The following items regarding parking need to be addressed:
 - a. Parking calculations noted on the site plan are incorrect. Square footage of the building cannot be reduced to determine parking needs based on "less incidental areas". Gross means entire building footprint.
 - b. Parking calculations must be noted for the barn based on its use for storage, assembly etc.
 - c. The handicap accessible space must be shown as described in item 4.e, above.
 - d. Dimensions of the parallel parking spaces on the north side of the building must be noted in compliance to Ordinance standards.
6. **Loading.** The required loading space is shown dimensioned on the west side of the barn. A truck circulation diagram has been submitted and is acceptable.
7. **Landscaping.** The site has minimal landscaping at the present time. The landscape plan proposes the installation of a new deciduous tree on the west side of the property and indicates several landscape areas on the site with spaces marked "plantings by owner". A few existing trees are shown along the west property line



abutting US-23. The plan includes a notation of landscape maintenance. The following items regarding landscaping must be addressed:

- a. The landscape area along the site's frontage must be created between the sidewalk along the building frontage and the property line as discussed previously with the applicant and noted in Comment 4.a, above.
 - b. The "plantings by owner" must include detailed listing of plant species, number and size at the time of planting. Proposal to plant some seasonal flowers can be noted as such; however the landscaping must also include shrubs, trees and perennials.
 - c. The plan must provide for a clear separation of landscape area and drive aisles all over the site. Typically concrete curbs are required; however, the applicant had previously discussed some other alternative method of delineating the separation. As proposed, trucks circulating the site are likely to drive over the landscape areas, which is not acceptable.
 - d. The plan states that landscaping will be irrigated as necessary "until they are established". This is not acceptable. There must be a regular watering schedule to ensure long term viability of the plantings which affects the site's appearance.
 - e. Manufacturer's cut sheet detail for proposed table and chairs must be submitted.
 - f. Clarify the surface material for the patio area and provide details for type and color of pavers proposed.
8. **Dumpster.** The site plan includes no dumpster location and trash removal has not been addressed. The site has previous history of dumping and un-authorized outdoor storage. While the note stating that no outdoor storage proposed is acceptable, a dumpster enclosure with gates constructed to the Township's standards must be provided. Typical enclosure details must be noted.
9. **Lighting.** The site plan includes no information regarding site lighting. Location and details of all existing and proposed fixtures must be noted. Light poles along the site's Main Street frontage must be shown on the site plan. All fixtures must be downward directed and shielded with a concealed light source. Existing fixtures without shielding must be replaced or provide with shielding to bring it into compliance.
10. **Signage.** The applicant has provided no information regarding proposed signage for the site. Clarify if any new signage is proposed at this time. If the signage is submitted later there will be an additional sign permit application and fees. We recommend that the information (including but not limited to sign location, size, design and illumination) be submitted at this time for approval as part of the site plan.
11. **Architecture.** The applicant has submitted no elevations. Photographs may be submitted in lieu of elevations if no changes are proposed. The existing building along the site's frontage appears to be in good condition and may require minor upkeep; however the barn appears to need some work done to it. Information regarding any proposed changes to the structures, including but not limited to painting etc., must be noted.
12. **Other.** The following additional items must be addressed:
- a. The site has an existing chain link fence with gates in a state of disrepair all around the property. The site plan notes that the gates are to be removed. In previous discussions the applicant mentioned removing/repairing and/or replacing some portions of the fence; however, the plan does not provide any clarification.
 - b. Clarify location of any exterior mechanical equipment and screening.





RECOMMENDATION AND FINDINGS

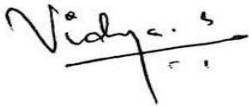
The site plan submitted at this time is deficient in many aspects. Issues and possible solutions previously discussed with the applicant are not reflected in the plans that have been submitted. Issues relating to parking, landscaping, circulation, lighting, architecture etc., are important aspects of a site's overall design and functionality.

The site is not only non-conforming with respect to size, it is also occupied by a non-conforming structure. The Ordinance allows for continued use of non-conforming sites and structures with a goal towards reducing the degree of non-conformity of the site and eventually eliminating the non-conformity. The recommendations included in this letter are feasible within the scope of what is required by the Ordinance.

Therefore, I recommend that the applicant be directed to submit a revised site plan addressing all of the underlined issues noted above prior to being granted any approval.

Respectfully submitted,

McKENNA



Vidya Krishnan
Senior Planner



ARCHITECTS. ENGINEERS. PLANNERS.

November 26, 2018

Northfield Township Planning Commission
Northfield Township
8350 Main Street
Whitmore Lake, Michigan 48189

**Regarding: Littlefish Design/8425 Main Street
Site Plan Review #1**

We have reviewed the October 23, 2018 site plan based on the Township's engineering standards for the above referenced project received by the Township on September 19, 2018. Plans were prepared by PEA, Inc. The applicant is requesting Site Plan approval for miscellaneous site improvements. A general summary of the site followed by our review comments and conclusion are noted below.

General/Utilities

The site is located on parcel #02-08-327-002 with address 8425 Main Street. The site is zoned as General Commercial (GC). The applicant is proposing to perform miscellaneous site improvements. General comments are as follows:

1. The existing well is shown however; existing sanitary sewer facilities are not shown. All existing and proposed utilities must be shown so we are assured that the paving will not affect the sewer.

Paving/Grading/Drainage

2. The proposed parking in the front of the building is located in the Main Street ROW. This may not be acceptable to the WCRC.
3. There is a catch basin located just off the property to the north. Based on the proposed spot grades provided, additional drainage will not be directed to this catch basin. This is acceptable.
4. All soil erosion and sedimentation control items should be shown on the grading sheet once the WCWRC reviews the plans.
5. Details should be provided for SESC items (silt fence, mud tracking mats, etc.).

Permits and Other Agency Approvals

Copies of all permits and/or letters of waiver should be provided. The current status of all necessary permits should be included on the cover sheet. We note that this project may require the following permits and/or approvals:

- Northfield Township Fire Department approval for emergency vehicle access and maneuverability.
- Northfield Township Building Department.
- Washtenaw County Water Resources Commissioner's office for storm water and soil erosion and sedimentation control.
- Washtenaw County Road Commission for work in the Main Street ROW.

Conclusion

If the Planning Commission approves the plans, then we recommend that our comments be addressed as a contingency. Please note that additional comments may be generated on future reviews based upon revised material being presented.

Littlefish Site Plan Review #1
November 26, 2018
Page 2 of 2

If you have any questions, please contact us at (734) 522-6711 or ronald.cavallaro@ohm-advisors.com.

Sincerely,

OHM ADVISORS

A handwritten signature in black ink, appearing to read "Ron A. Cavallaro, Jr.", written in a cursive style.

Ronald A. Cavallaro, Jr., PE

cc: Mary Bird, Northfield Township (via e-mail)
Paul Lippens, MCKA, Township Planner (via e-mail)
File

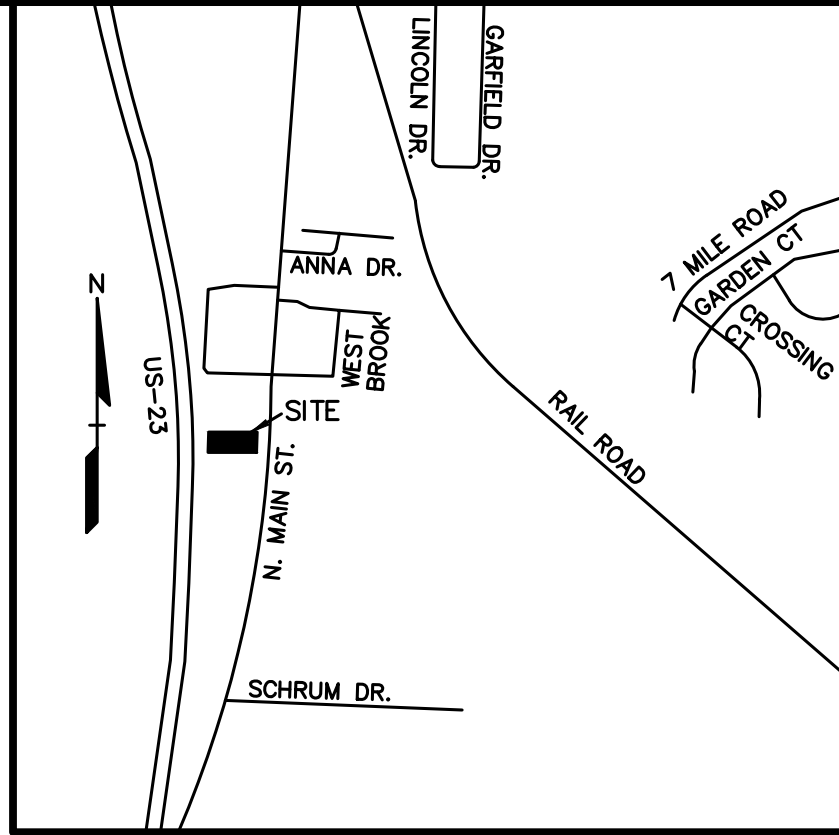
P:\0126_0165\SITE_NorthfieldTwp\2018\0151181070_Littlefish Desgin_8425 Main St\Littlefish Design SPR#1.docx

BENCHMARKS
(ENTER DATUM HERE)

BM #301
SPIKE IN NORTH SIDE OF POWER POLE.
ELEV. = 909.73

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26161C0092E DATED APRIL 3, 2012.

SITE PLANS FOR
LITTLEFISH DESIGN
8425 MAIN STREET
NORTHFIELD TOWNSHIP, WASHTENAW COUNTY, MI



LOCATION MAP – NOT TO SCALE



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS GIVEN FOR THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER INDEMNIFY AND HOLD DESIGN PROFESSIONAL, WORKERLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

**3 FULL WORKING DAYS
BEFORE YOU DIG CALL**



MISS DIG System, Inc.
1-800-482-7171 www.missdig.org
(TOLL FREE)



PEA, Inc.
7927 Nemco Way, Ste. 115
Brighton, MI 48116
T: 517.546.8583
F: 546.546.8973
www.peainc.com

OWNER/APPLICANT:

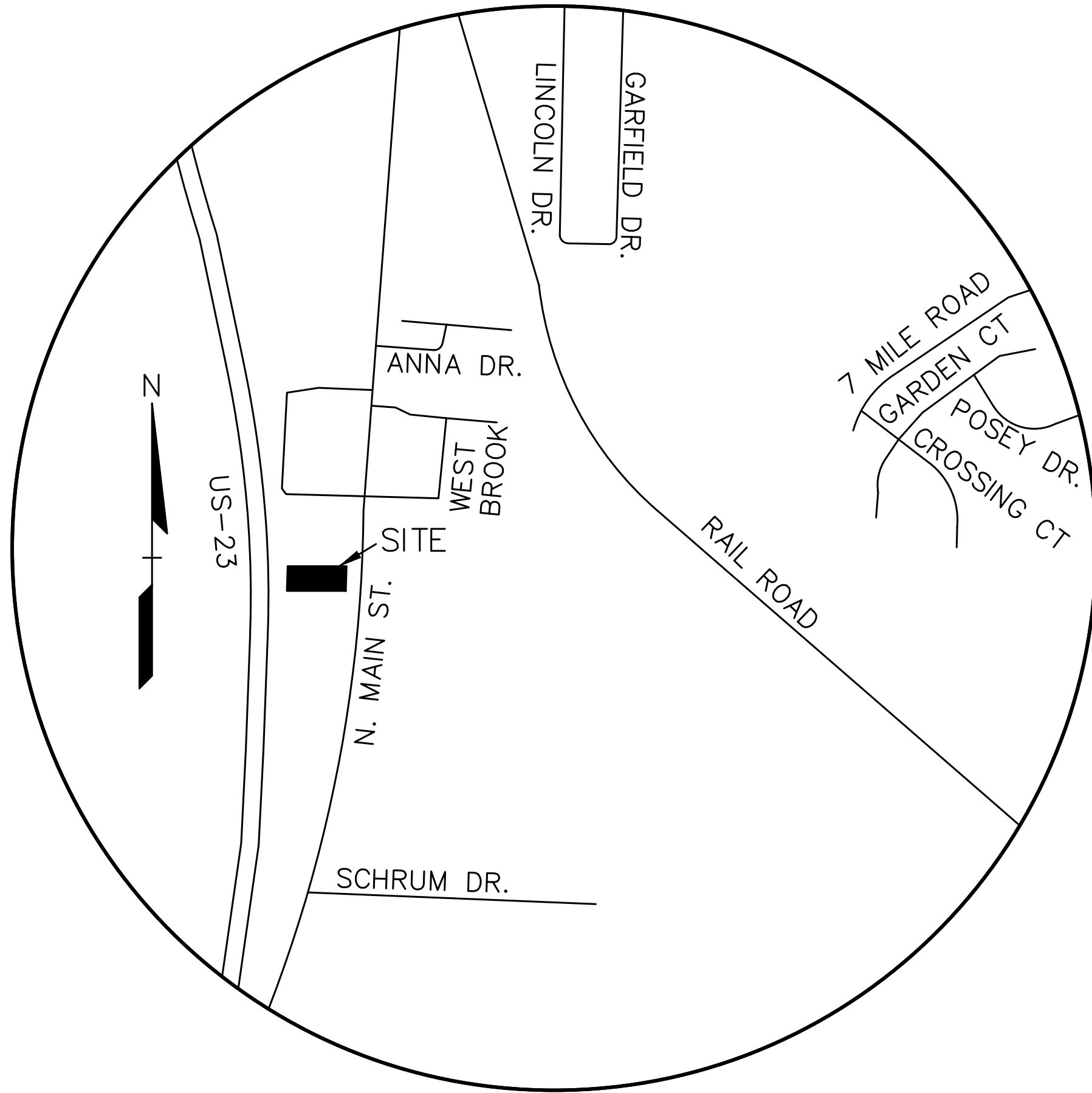
ANGELA MATTHEWS
122 SOUTH MAIN STREET
ANN ARBOR, MI 48104
PHONE: (734) 637-5895
EMAIL: angelamathews@comcast.net

CIVIL ENGINEER:

PEA, INC.
7927 NEMCO WAY, SUITE 115
BRIGHTON MI, 48116
CONTACT: SCOTT PERUSKI, PE
PHONE: (248) 509-7234
EMAIL: speruski@peainc.com

LANDSCAPE ARCHITECT:

PEA, INC.
7927 NEMCO WAY, SUITE 115
BRIGHTON, MI 48116
CONTACT: JEFF SMITH, R.L.A., LEED AP
PHONE: (517) 546-8583
EMAIL: jsmith@peainc.com



LOCATION MAP
1"=500'

INDEX OF DRAWINGS:

- C-0.0 COVER SHEET
- C-1.0 TOPOGRAPHIC SURVEY
- C-2.0 SITE PLAN
- C-3.0 GRADING PLAN
- C-4.0 TRUCK TURNING PLAN
- C-5.0 NOTES AND DETAILS
- L-1.0 LANDSCAPE PLAN AND DETAILS

PROJECT NARRATIVE AND PROPOSED USE DESCRIPTION:
LITTLEFISH DESIGN SPECIALIZES IN WAYFINDING SYSTEMS. THESE SYSTEMS ARE TAILORED TO HEALTHCARE AND BUSINESS OFFICE ENVIRONMENTS. LITTLEFISH OFFERS DESIGN, COORDINATION AND INSTALLATION SERVICES.

LEGAL DESCRIPTION
(Per Washtenaw County Clerk Records, L-5258 P.69)

PARCEL ID B 02-08-327-002

The North 99 feet of the following described property, to-wit:
Beginning at a point 2627 feet South of the Northwest corner of Section 8, Town 1 South, Range 6 East, Michigan, that being an old established line between the North half and the South half of Section 8; thence running East along the said line fence, 32 rods to the center of the concrete road running from Whitmore Lake to Ann Arbor; thence South in the center of said highway, 15 rods; thence West parallel with said line fence 32 rods; thence North 15 rods to the place of beginning. Excepting and Reserving therefrom the North 100 feet of said land, being a part of the Northwest Quarter of the Southwest Quarter of Section 8, Town 1 South, Range 6 East, Township of Northfield, County of Washtenaw and State of Michigan; also excepting and reserving therefrom that land deeded to Charles M. Ziegler as State Highway Commissioner of the State of Michigan, and recorded in Liber 789 Of Records, on Page 354, Washtenaw County Records, INTENDING TO CONVEY HEREBY TITLE TO PROPERTY ALSO DESCRIBED
AS : The South 99 feet of the North 199 feet of the following described property: "beginning at a point 2627 feet South of the Northwest corner of Section 8, Northfield Township, Washtenaw County, Michigan, that being an old established line between the North Half and the South half of Section 8; thence running East along the said line fence 32 rods to the center of the concrete road running from \Whitmore Lake to Ann Arbor; thence South in the center of said highway, 15 rods; thence West parallel with said line fence 32 rods; thence North 15 rods to the place of beginning, being a part of the Northwest Quarter of the Southwest Quarter of Section 8, Northfield Township, Washtenaw County, Michigan," excepting and reserving therefrom that land deeded to Charles M. Ziegler as State Highway Commissioner of the State of Michigan, and recorded in Liber 789 of Records, on Page 354; Washtenaw County Records.

NOT FOR CONSTRUCTION

XREF: S:\PROJECTS\2018\2018260\DWG\18260-TOPOBASE.DWG
XREF: S:\PROJECTS\2018\2018260\DWG\SITE PLAN\X-BASE-18260.DWG
XREF: S:\PROJECTS\2018\2018260\DWG\SITE PLAN\TBLK-18260.DWG

LITTLEFISH DESIGN		DES:	SAP	DN	SUR	PEA	P.M	THD
122 SOUTH MAIN STREET SUITE 275 ANN ARBOR, MI 48104								
COVER SHEET								
LITTLEFISH OFFICE BUILDING								
PART OF THE NW 1/4 OF SECTION 8, T. 1S, R. 6E, NORTHFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN								

ORIGINAL ISSUE DATE:
SEPTEMBER 17, 2018

PEA JOB NO. 2018-260

SCALE: 1" = 500'

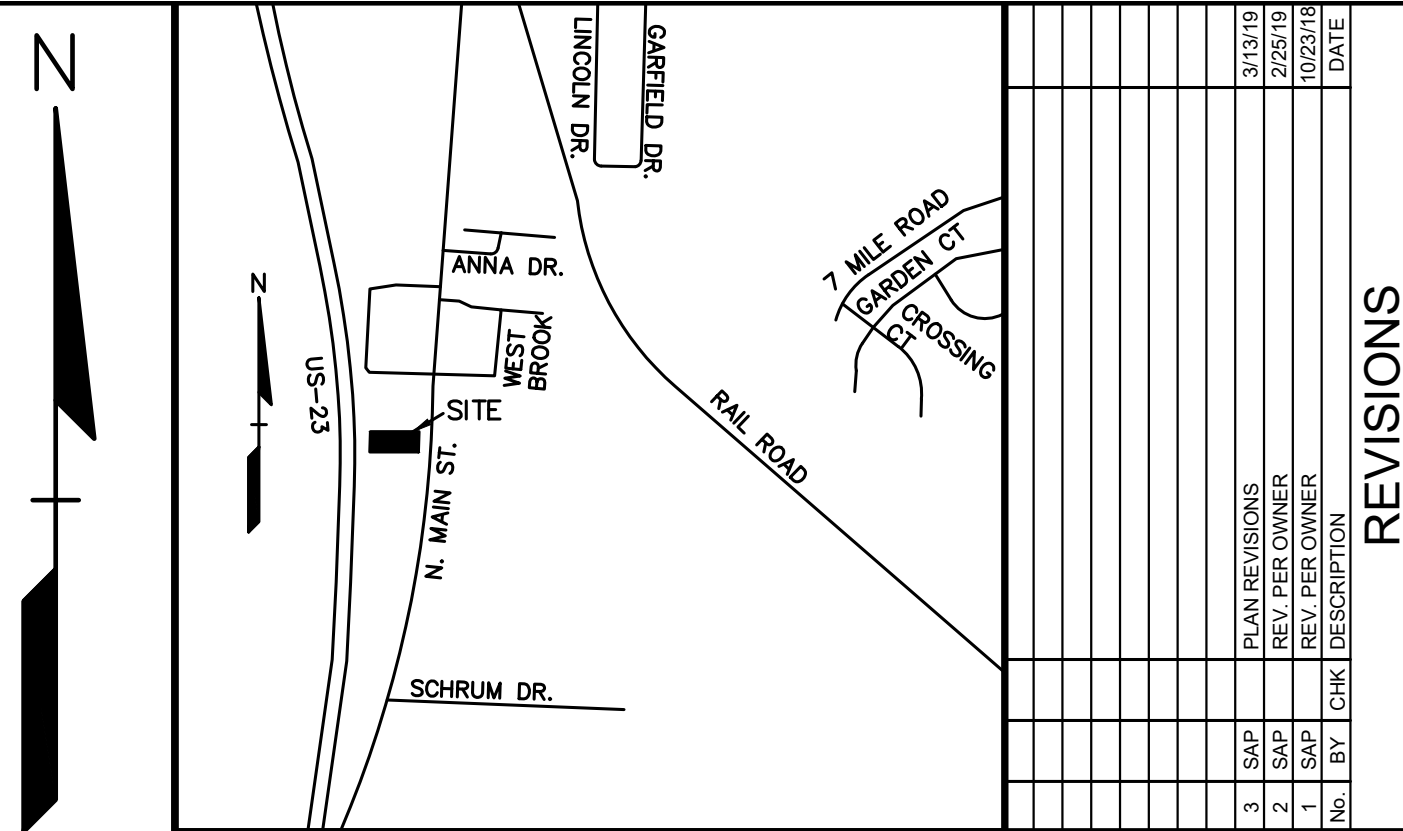
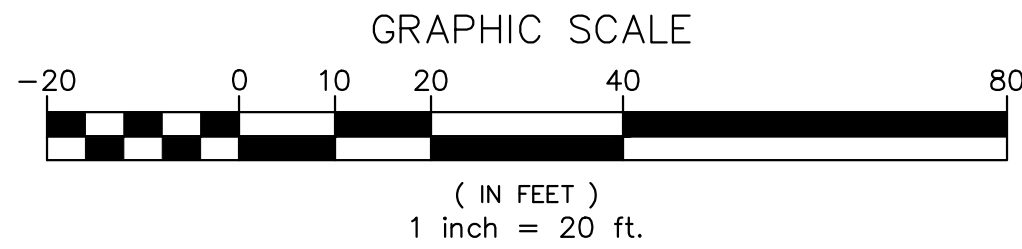
DRAWING NUMBER:

C-0.0

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA
DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE
FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER
26161C0092E DATED APRIL 3, 2012.

The North 99 feet of the following described property, to-wit:
Beginning at a point 2627 feet South of the Northwest corner of Section 8, Town 1 South, Range 10 East, Township 1 North, County of Washtenaw; thence North half mile to the South half of Section 8; thence running East along the said side line fence, 32 rods to the center of the concrete curb of the highway known as the "Hwy. 15 Bypass"; thence West parallel with said side line fence 32 rods; thence North 15 rods to the place of beginning, Excepting and Reserving therefrom the North 100 feet of said land, being a part of the Township of Northfield, County of Washtenaw and State of Michigan; also excepting and reserving therefrom that land donated to Charles E. Ziegler as State Highway Commissioner of Michigan by the Board of Supervisors of the Township of Northfield, County of Washtenaw, State of Michigan, and recorded in Liber 789 of Records, intending TO CONVEY HEREBY TITLE TO PROPERTY ALSO DESCRIBED

TO THE STATE OF MICHIGAN, for the purpose of conveying title to the State of Michigan, beginning at a point 2627 feet South of the Northwest corner of Section 8, Northfield Township, Washtenaw County, Michigan, that being an old established line between the North Half and the South Half of Section 8, Township 1 North, Range 10 East, County of Washtenaw, State of Michigan, and recorded in Liber 789 of Records, running from the intersection of the said side line fence and the concrete road running from Wilmot Lake to Ann Arbor; thence South 15 rods in the center of said highway, 15 rods; thence West parallel with said side line fence 32 rods; thence North 15 rods to the place of beginning, Excepting and Reserving therefrom the North 100 feet of said land, being a part of the Township of Northfield, Washtenaw County, Michigan, excepting and reserving therefrom that land donated to Charles E. Ziegler as State Highway Commissioner of Michigan by the Board of Supervisors of the Township of Northfield, County of Washtenaw, State of Michigan, and recorded in Liber 789 of Records, intending TO CONVEY TO THE STATE OF MICHIGAN, and recorded in Liber 789 of Records, Page 354; Washtenaw County Records.



LOCATION MAP – NOT TO SCALE

LEGEND

- | | | |
|--|---|---|
| IRON FOUND
NAIL FOUND
NAIL & CAP SET | BRASS PLUG SET
MONUMENT FOUND
MONUMENT SET | SEC. CORNER FOUND
R RECORDED
C MEASURED
M CALCULATED |
| <p><u>EXISTING</u></p> | | |
| —CH—ELEC—W—C—
—UG—C—T—Y—
—UG—PHONE—
—UG—ELEC—G—
 | <p>ELEC. PHONE OR CABLE TV OH LINE, POLE & GUY WIRE
 UNDERGROUND CABLE TV, CTV PEDESTAL
 TELEPHONE UG CABLE, PEDESTAL & MANHOLE
 ELECTRIC UG CABLE, MANHOLE & HANDHOLE
 GAS MAIN, VALVE & GAS LINE MARKER
 WATERMAIN, HHO, GATE VALVE, TAPPING SLEEVE & VALVE
 SANITARY SEWER, CLEANOUT & MANHOLE
 STORM SEWER, CLEANOUT & MANHOLE
 COMBINED SEWER & MANHOLE
 SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
 SPOT ELEVATOR VALVE
 WATER VALVE BUBBYDRANT VALVE BOX, SERVICE SHUTOFF
 MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
 UNIDENTIFIED STRUCTURE</p> | |
| 816.06
670
 | <p>SPOT ELEVATION
 CONTOUR LINE
 FENCE
 GUARD RAIL
 STREET LIGHT
 SIGN</p> | |
| CONC. | <p>CONCRETE</p> | |
| ASPH. | <p>ASPHALT</p> | |
| GRAVEL | <p>GRAVEL SHOULDER</p> | |



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f: 546.546.8973
www.peainc.com

LITTLEFISH DESIGN
122 SOUTH MAIN STREET, SUITE 275
ANN ARBOR, MI 48106

TOPOGRAPHIC SURVEY
LITTLEFISH OFFICE BUILDING
PART OF THE NW 1/4 OF SECTION 8, T. 1 S., R. 16 E.,
NORTHFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

DES.	DATE	DRAWN	SAP	SCALE	PEA	THD
PROJECTS/2019/2018-2019	2018-2019	2018	2018	1/4"=100'	1/4"=100'	1/4"=100'

ORIGINAL ISSUE DATE:
SEPTEMBER 17, 2018

PEA JOB NO. 2018-260

SCALE: 1" = 20'

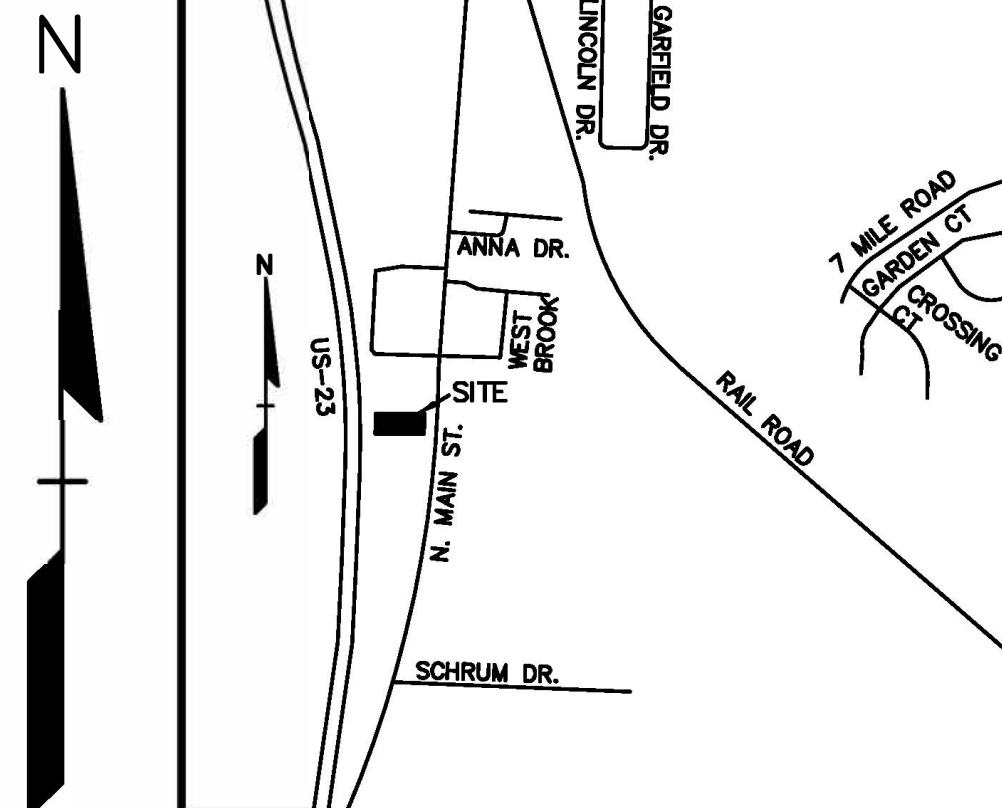
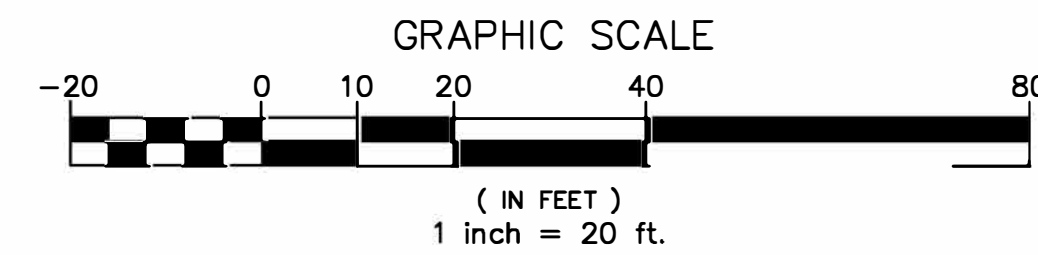
DRAWING NUMBER:

C-1.0

NOT FOR CONSTRUCTION XREF: S:\PROJECTS\2018\2018260\DWG\18260-TOPOBASE.DWG
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XREF: S:\PROJECTS\2018\2018260\DWG\SITE PLAN\TLK-18260.DWG

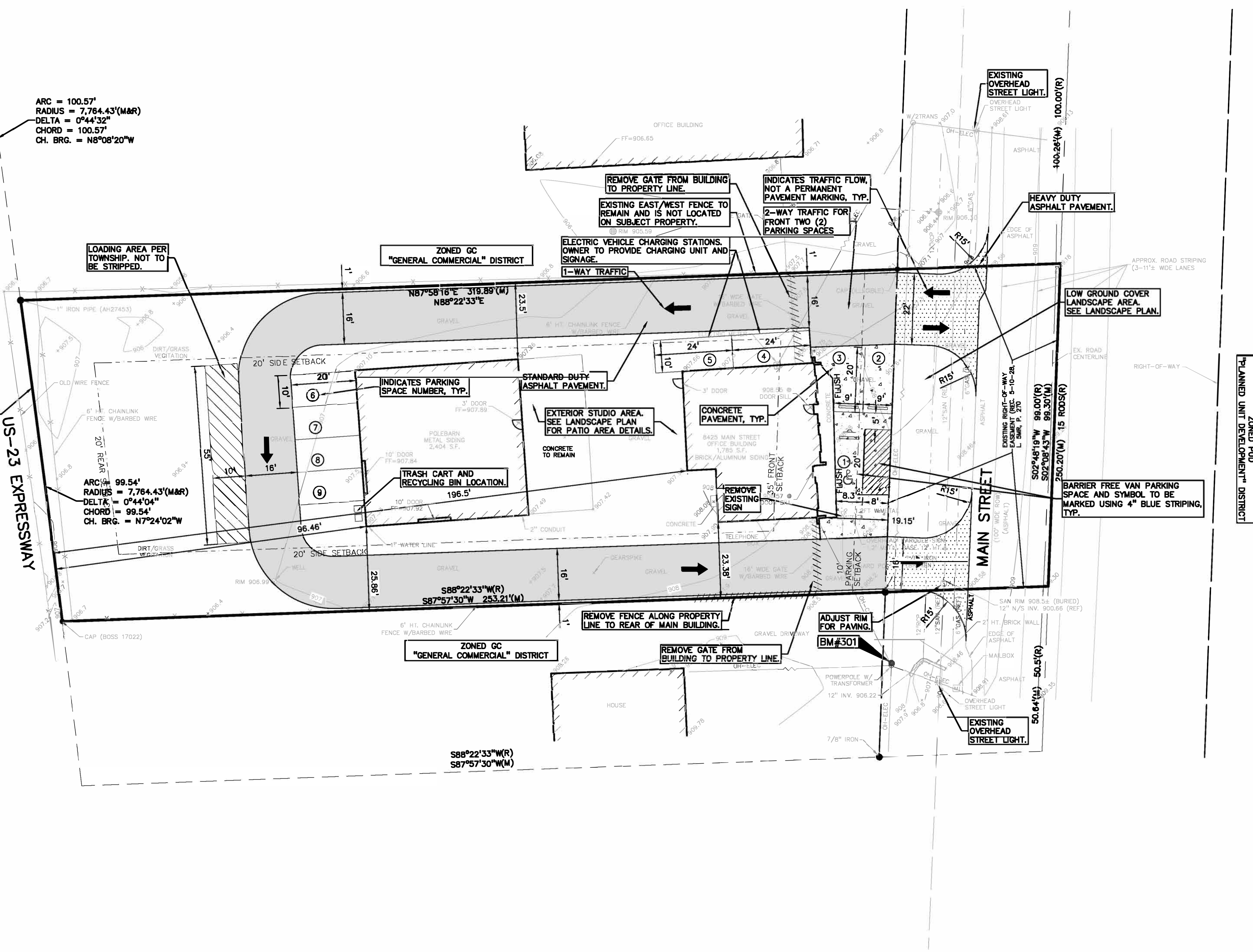
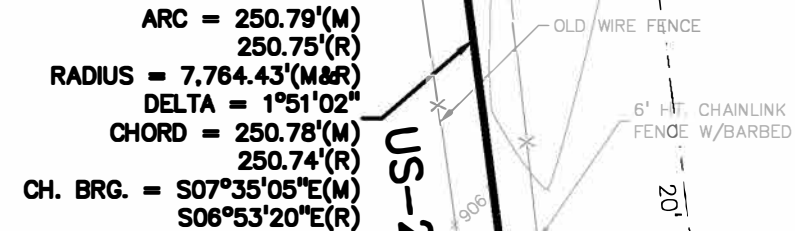
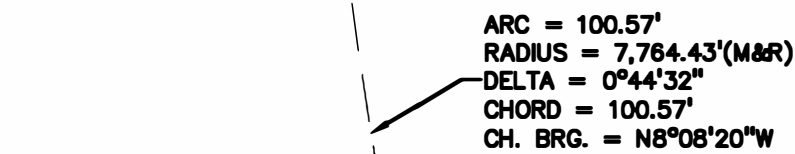
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XREF: S:\PROJECTS\2018\2018260\DWG\SITE PLAN\BLK-18260.DWG

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA
DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE
FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER
26161C0092E DATED APRIL 3, 2012.



		PLAN RELIGIONS		31/3/18
		REV PER OWNER		2/26/19
		REV PER OWNER		10/23/18
		DESCRIPTION		DATE
3	SUP			
2	SAP			
1	SAP			
	BY			
	CHK			

REVISIONS



**ZONED POD
"PLANNED UNIT DEVELOPMENT" DISTRICT**

LOCATION MAP – NOT TO SCALE

LEGEND

- [illegible]

TRASH DISPOSAL NOTE:

ALL TRASH/WASTE DISPOSAL WILL BE PROVIDED BY CURB SIDE PICKUP. LITTLEFISH DESIGN EMBRACES A ZERO WASTE BUSINESS MODEL, AND RECYCLES ALL MATERIALS TO THE EXTENT POSSIBLE.

OUTDOOR STORAGE NOTE:

NO OUTDOOR STORAGE OF MATERIALS OR EQUIPMENT SHALL BE ALLOWED PER TOWNSHIP REGULATIONS.

**EXTERIOR MECHANICAL
EQUIPMENT NOTE:**

NO ADDITIONAL MECHANICAL
EQUIPMENT THAT WOULD REQUIRE
SCREENING IS LOCATED ON SITE.

SITE DATA TABLE:

SITE AREA: 0.594 ACRES (25,905 SQ.FT.), NET AND GROSS

ZONING: GC, GENERAL COMMERCIAL

EXISTING USE: RETAIL (EQUIPMENT SERVICES COMPANY)

PROPOSED USE: PROFESSIONAL OFFICE WITH RETAIL SALES

BUILDING INFORMATION:

MAXIMUM ALLOWABLE BUILDING HEIGHT = 45 FEET

EXISTING BUILDING HEIGHT = 14 1/2 FEET (AT TOP OF PARAPET, 1 STORY)

EXISTING MAIN FLOORING FOOTPRINT AREA = 1,785 SQ.FT.

EXISTING BARN FOOTPRINT AREA = 2,404 SQ.FT.

EXISTING BUILDING LOT COVERAGE = 16.2% (INC. BOTH STRUCTURES, 25% MAXIMUM ALLOWED)

SETBACK REQUIREMENTS:

GC ZONING DISTRICT:

FRONT SETBACK (EAST): 35 FEET REQUIRED	19.15', EXISTING NON-CONFORMING
SIDE SETBACK (NORTH): 20 FEET REQUIRED	26.13' MAIN, 23.50' BARN EXISTING
SIDE SETBACK (SOUTH): 20 FEET REQUIRED	23.38' MAIN, 25.86' BARN EXISTING
REAR SETBACK (WEST): 20 FEET REQUIRED	196.50' MAIN, 96.46' BARN EXISTING
PARKING SETBACK: 10 FEET REQUIRED	EXISTING NON-CONFORMING

PARKING CALCULATIONS

TOTAL RETAIL PARKING REQUIRED = $1,785/200 = 8.9$ SPACES

TOTAL EXISTING PARKING

TOTAL PROPOSED PARKING SPACES = 9 SPACES

LOADING CALCULATIONS:

LOADING REQUIRED = 1 SPACE (10'X55' MINIMUM) PER 5,000 SQ.FT. GROSS FLOOR AREA

LOADING PROVIDED = 1 SPACE (10'X55') AT REAR OF SITE

SITE SOILS INFORMATION

WASHTENAW COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:

BnB - BOYER LOAMY SAND, 1 TO 6 PERCENT SLOPES
WqA - WASEPI SANDY LOAM, 0 TO 4 PERCENT SLOPES

BnB - BOYER LOAMY SAND, 1 TO 6 PERCENT SLOPES
WaA - WASEPI SANDY LOAM, 0 TO 4 PERCENT SLOPES

NOT FOR CONSTRUCTION

XREF: S:PROJECTS\2018\2018260\DWG\18260-TOPOBASE.DWG
XREF: S:PROJECTS\2018\2018260\DWG\SITE PLAN\X-BASE-18260.DWG
XREF: S:PROJECTS\2018\2018260\DWG\SITE PLAN\TBLK-18260.DWG

LITTLEFISH DESIGN
122 SOUTH MAIN STREET SUITE 275
ANN ARBOR MI 48104

SITE PLAN

DES.	SAP	DN.	SAP	SUR.	PEA	P.M.	THD
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ORIGINAL ISSUE DATE:
SEPTEMBER 17, 2018

PEA JOB NO. 2018-260

SCALE: 1" = 20'

DRAWING NUMBER

C-2.0

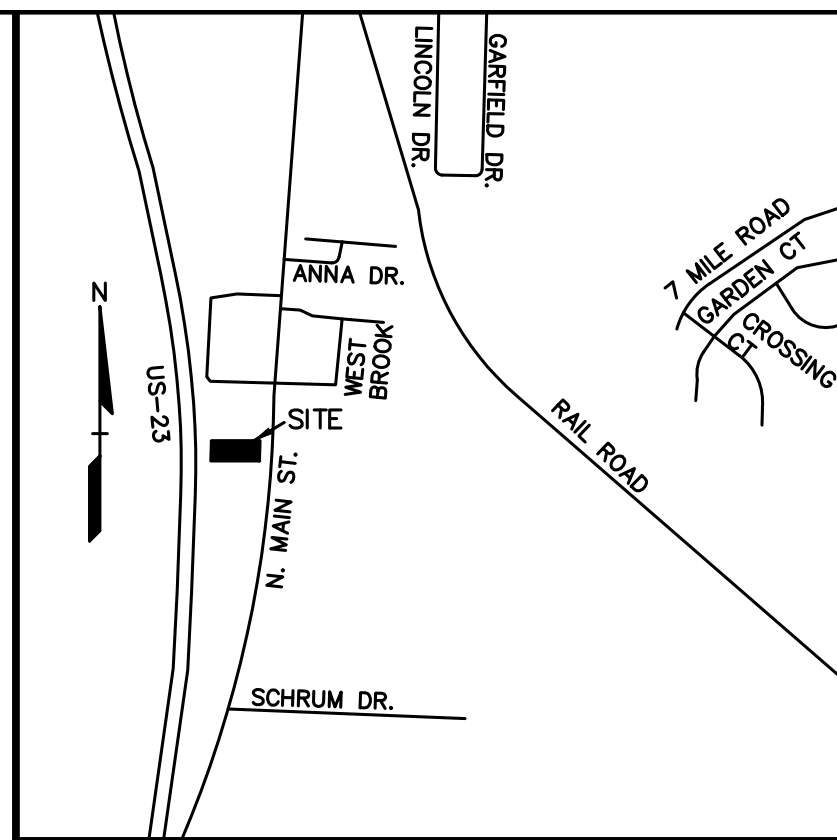
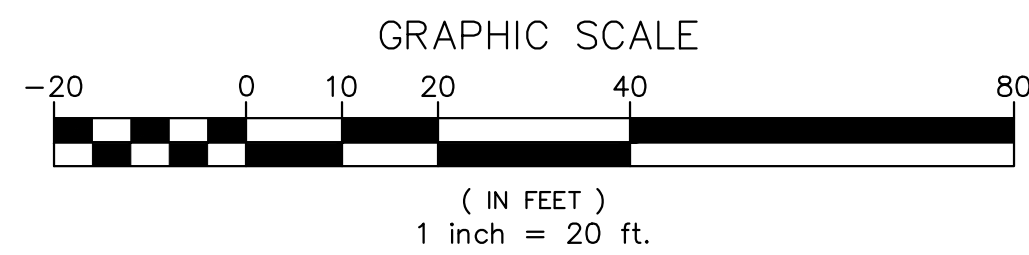
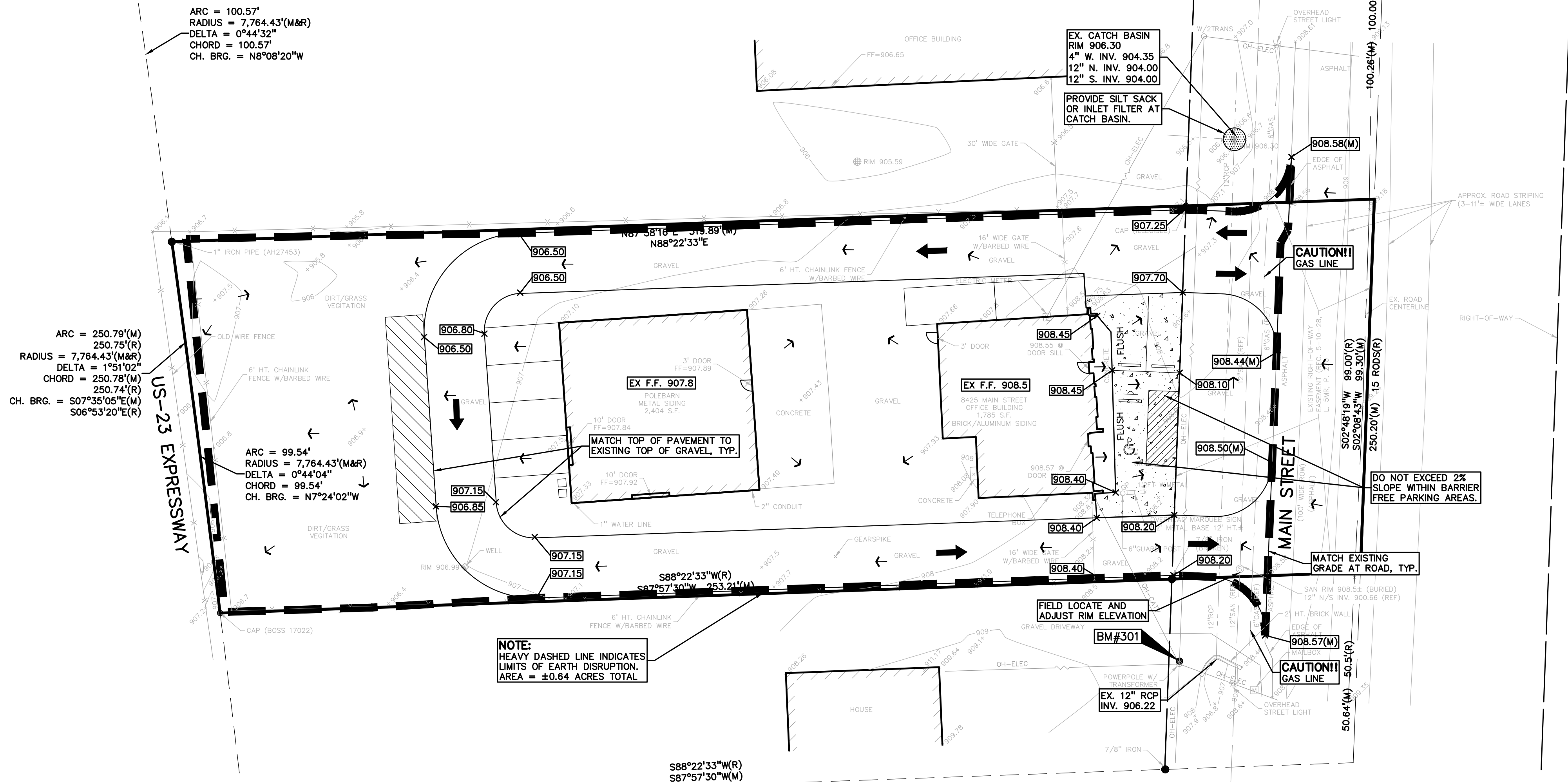
FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA
DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE
FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER
26161C0092E DATED APRIL 3, 2012.

PARCEL ID B 02-08-327-002

The North 99 feet of the following described property, to-wit:

Beginning at a point 2627 feet South of the Northwest corner of Section 8, Town 1 South, Range 6 East, Township 35 North, being an old established line between the North half and the South half of Section 8, then running East along said line 32 rods to the center of the concrete road running from Whitmore Lake to Ann Arbor; thence South in the center of said highway 15 rods; thence West parallel with said line fence 32 rods; thence North 15 rods to the place of beginning; then a part of the Northwest quarter of the Southwest quarter of Section 8, T.1N S. 14 R. 6 E. Township of Northfield, County of Washtenaw and State of Michigan; also excepting and reserving therefrom that part thereof intended to be conveyed to the State of Michigan, and recorded in Liber 789 of Records, on Page 354; Washtenaw County Records. INTENDING TO CONVEY HEREBY TITLE TO PROPERTY ALSO DESCRIBED

AS: The South 99 feet of the North 199 feet of the following described property, beginning at a point 2627 feet South of the Northwest corner of Section 8, Town 1 South, Range 6 East, Township 35 North, being an old established line between the North half and the South half of Section 8; then running East along the said fence line 32 rods to the center of the concrete road running from Whitmore Lake to Ann Arbor; thence South in the center of said highway 15 rods; thence West parallel with said line fence 32 rods; thence North 15 rods to the place of beginning; being a part of the Northwest quarter of the Southwest quarter of Section 8, Northfield Township, Washtenaw County, Michigan, excepting and reserving therefrom that part thereof intended to be conveyed to the State of Michigan, and recorded in Liber 789 of Records, on Page 354; Washtenaw County Records.



LOCATION MAP – NOT TO SCALE

LEGEND

- [illegible]

GENERAL GRADING AND EARTHWORK NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
2. ALL GRADES ARE TO TOP OF PAVEMENT/SIDEWALK UNLESS OTHERWISE NOTED.
3. THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
4. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE NORTHFIELD TOWNSHIP AND WASHTENAW COUNTY. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE COUNTY PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BEFORE ANY EXISTING UTILITY UTILITIES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE GEOTECHNICAL ENGINEER, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.

SYMBOLS: GRADING

PROPOSED SPOT GRADE ELEVATION.
ALL GRADES INDICATED
ARE TOP OF PAVEMENT OR SIDEWALK
UNLESS OTHERWISE NOTED.

EARTHWORK BALANCING NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.



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LITTLEFISH DESIGN
122 SOUTH MARKET STREET SUITE 275
ANN ARBOR, MI 48104

GRADING PLAN

LITTLEFISH OFFICE BUILDING
PART OF THE NW 1/4 OF SECTION 8, T. 1 S., R. 6 E.
NORTHFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

DES.	SAP	DNI	SAP	SUR.	PEA	P.M.
V:\PROJECTS\2019-2020\122r Ann Arbor Littlefish Office Building\DWG\Grading\plan\GC-3.GRD.dwg - 1222020.dwg						

ORIGINAL ISSUE DATE:
SEPTEMBER 17, 2018

PEA JOB NO. 2018-260

SCALE: 1" = 20'

DRAWING NUMBER:

C-3.0

NOT FOR CONSTRUCTION

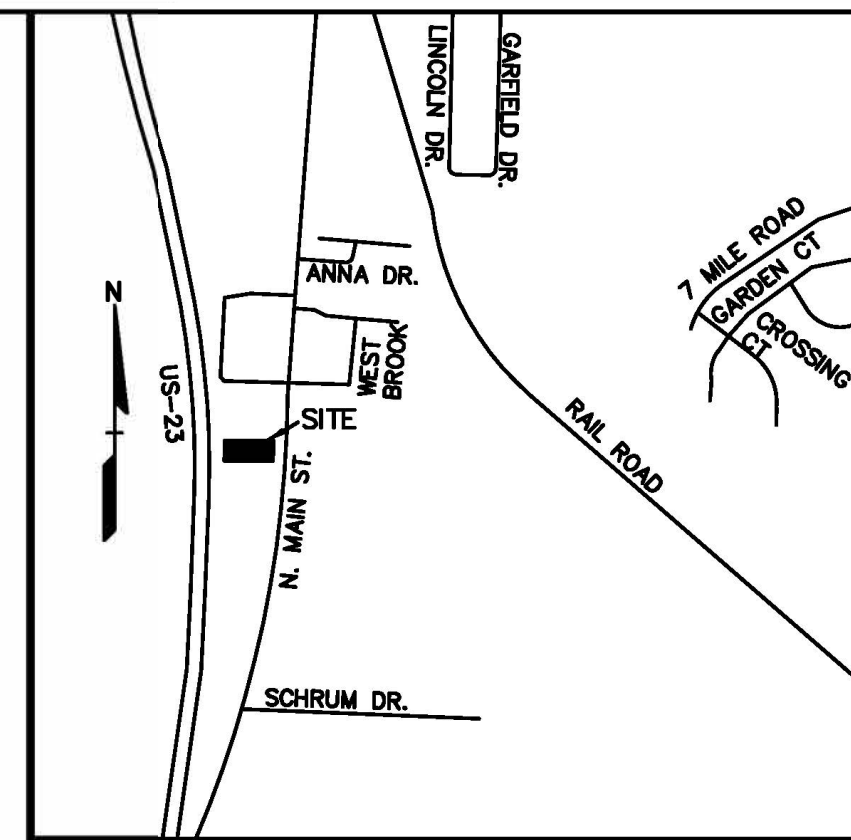
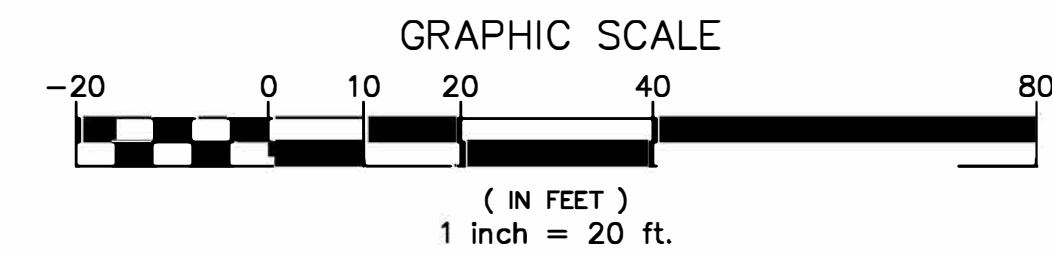
XREF: S:PROJECTS\2018\2018260\DWG\18260-TOPOBASE.DWG
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XREF: S:PROJECTS\2018\2018260\DWG\SITE PLAN\TBLK-18260.DWG

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26161C0092E DATED APRIL 3, 2012.

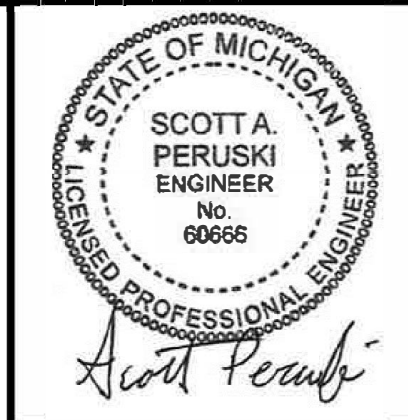
The North 99 feet of the following described property, to-wit:

Beginning at a point 2827 feet South of the Northwest corner of Section 8, Town 1 South, Range 10 East, running East along the said line between the North Half and the South half of Section 8; thence running along the said line between the 32 rods to the center of the concrete road running from Whitmore Lake to Ann Arbor; thence South in the center of said highway, 15 rods; thence West parallel with said line fence 32 rods; thence North 15 rods to the place of beginning. This is a portion of the Northwest Quarter of Section 8, Township 1 South, Range 10 East, Township of Northfield, County of Washtenaw and State of Michigan; also excepting and reserving therefrom that portion of the said land lying within the Eastern Township of Northfield, County of Washtenaw, State of Michigan, and recorded in Ober 789 of Records, on Page 354, Washtenaw County Records, INTENDING TO CONVEY HEREBY TITLE TO PROPERTY ALSO DESCRIBED

AS: The South 99 feet of the North 199 feet of the following described property, beginning at the Northwest corner of Section 8, Township 1 South, Range 10 East, within Washtenaw County, Michigan, that being an old established line between the North Half and the South half of Section 8; thence running East along the said line fence 32 rods to the center of the concrete road running from Whitmore Lake to Ann Arbor; thence South in the center of said highway, 15 rods; thence West parallel with said line fence 32 rods; thence North 15 rods to the place of beginning, being a part of the Northwest Quarter of the Southwest Quarter of Section 8, Northfield Township, Washtenaw County, Michigan, excepting and reserving therefrom that portion of the said land lying within the Eastern Township of Northfield, County of Washtenaw, State of Michigan, and recorded in Ober 789 of Records, on Page 354 Washtenaw County Records.



No.	BY	CHK	DESCRIPTION	DATE
3	SAP		PLAN REVISIONS	3/13/19
2	SAP		REV PER OWNER	2/26/19
1	SAP		REV PER OWNER	10/20/18



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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE PERIOD OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISE FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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LITTLEFISH DESIGN
122 SOUTH MAIN STREET SUITE 275
ANN ARBOR, MI 48104

TRUCK TURNING PLAN
LITTLEFISH OFFICE BUILDING
PART OF THE NW 1/4 OF SECTION 8 T 1 S, R1E
NORTHFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

DES.	SAP	SUR.	PEA	THD
VIEWPROJECTS\2016\2016-260 (The New Office Building - NW 1/4 Sec 8, T1S, R1E) - 1602.dwg				P.M.

ORIGINAL ISSUE DATE:
SEPTEMBER 17, 2018

PEA JOB NO. 2018-260

SCALE: 1" = 20'

DRAWING NUMBER:

C-4.0

LOCATION MAP – NOT TO SCALE

LEGEND

- | | | |
|---|--|------------------------------------|
| IRON FOUND
STEEL FOUND
NAIL FOUND
NAIL & CAP SET | BRASS PLUG SET
MONUMENT FOUND
MONUMENT SET | RECORDER
MEASURED
CALCULATED |
|---|--|------------------------------------|

CORNER FOUND
 R RECORDED
 M MEASURED
 C CALCULATED

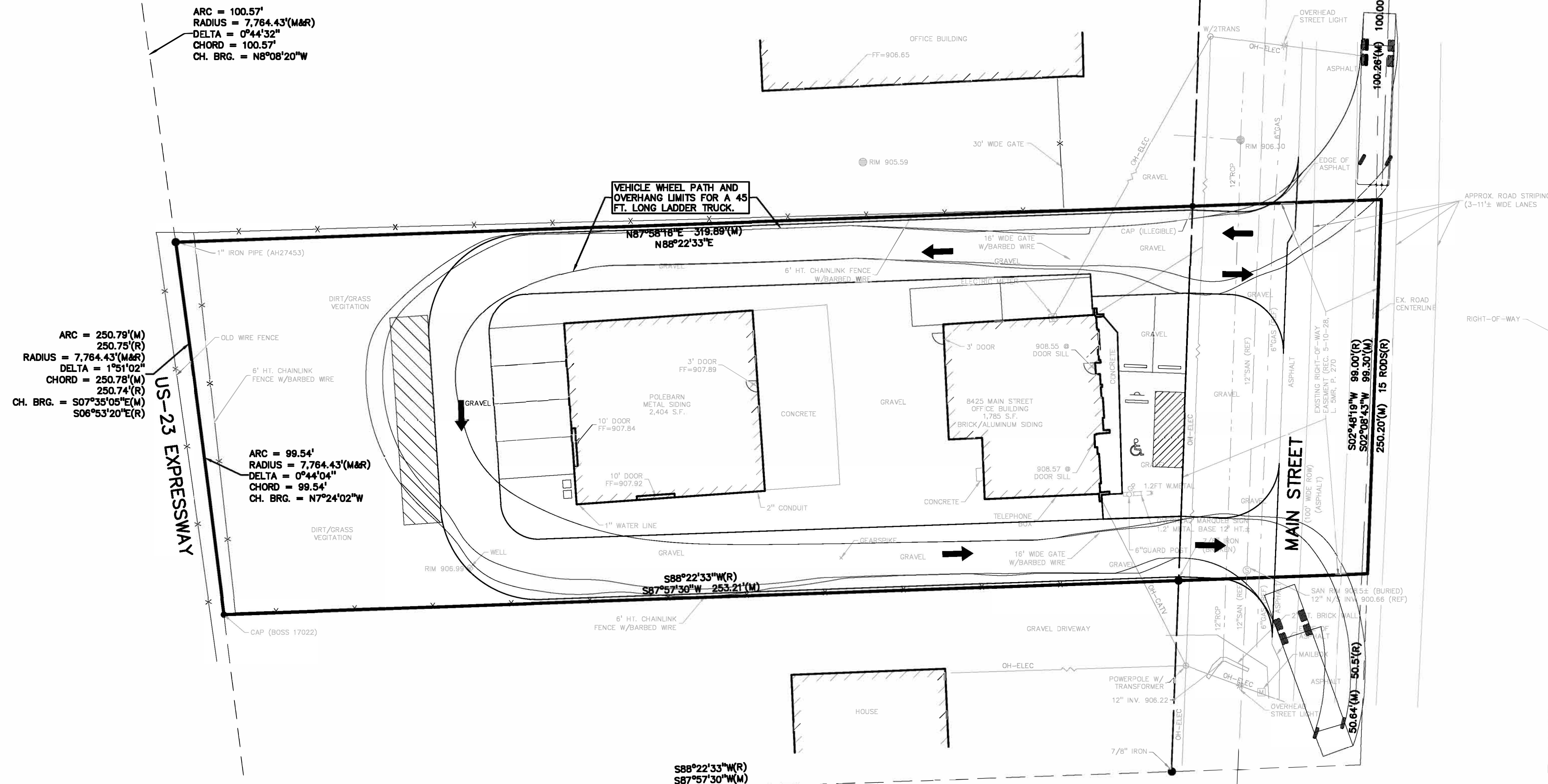
PROPOSED

ELEC. PHONE OR CABLE TV. GAS, LINE, POLE & OUT WIRE
 CABLE TV, CTV PEDESTAL
 TELEPHONE U.S. CABLE, PEDESTAL & MANHOLE
 ELECTRIC U.S. CABLE, MANHOLE, METER & MANHOLE
 GAS MAIN, VALVE & GAS LINE MARKER
 WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
 SANITARY SEWER, CLEANOUT & MANHOLE
 STORM SEWER, CLEANOUT & MANHOLE
 COMBINED SEWER & MANHOLE
 SQUARE, ROUND & BEDWIE CATCH BASIN, YARD ARD
 POST INDICATOR SYMBOL
 WATER VALVE, SUBSTANTIAL PART, SERVICE SHUTOFF
 MAILBOX, TRANSFORMER, IRRIGATION CONTROL, VALVE
 UNCOLORED STRUCTURE

SPOT ELEVATION
 CONTOUR LINE
 FENCE
 GUARD RAIL
 STREET LIGHT
 SIGN

CONC.
 ASPH.
 GRAVEL

8' BY 8'
 8' BY 4'
 4' BY 8'
 4' BY 4'



NOT FOR CONSTRUCTION

XREF: S: PROJECTS\2018\2018260\DWG\18260-TOPOBASE.DWG
XREF: S: PROJECTS\2018\2018260\DWG\SITE PLAN\X-BASE-18260.DWG
XREF: S: PROJECTS\2018\2018260\DWG\SITE PLAN\TBLK-18260.DWG

GENERAL NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF NORTHFIELD TOWNSHIP AND WASHTENAW COUNTY.
2. THE CONTRACTOR MUST CONTACT THE ENGINEER SHOULD THEY ENCOUNTER ANY DESIGN ISSUES DURING CONSTRUCTION. IF THE CONTRACTOR MAKES DESIGN MODIFICATIONS WITHOUT THE WRITTEN DIRECTION OF THE DESIGN ENGINEER, THE CONTRACTOR DOES SO AT HIS OWN RISK.
3. ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL TOWNSHIP INSPECTION FEES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE PERIODS OF CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
5. THE CONTRACTOR SHALL NOTIFY MISS DIG (811) AND REPRESENTATIVES OF OTHER UTILITIES IN THE VICINITY OF THE WORK A MINIMUM OF 72 HOURS PRIOR TO START OF CONSTRUCTION (EXCLUDING WEEKENDS AND HOLIDAYS) FOR LOCATION AND STAKING OF ON-SITE UTILITY LINES. IF NO NOTIFICATION IS GIVEN AND DAMAGE RESULTS, SAID DAMAGE WILL BE REPAIRED AT SOLE EXPENSE OF THE CONTRACTOR. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
6. CONTRACTOR TO VERIFY THAT THE PLANS AND SPECIFICATIONS ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHERMORE, VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING FINAL APPROVAL, HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE AT THE CONTRACTORS EXPENSE. SHOULD THE CONTRACTOR ENCOUNTER A CONFLICT BETWEEN THESE PLANS AND/OR SPECIFICATIONS, THEY SHALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
7. ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
8. MANHOLE, CATCH BASIN, GATE VALVES AND HYDRANT FINISH GRADES MUST BE CLOSELY CHECKED AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETE.
9. CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF-SITE ANY TREES, BRUSH, STUMPS, TRASH OR OTHER UNWANTED DEBRIS AT THE OWNER'S DIRECTION, INCLUDING OLD BUILDING FOUNDATIONS AND FLOORS. BURNING OF TRASH, STUMPS OR OTHER DEBRIS SHALL NOT BE PERMITTED.
10. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, SIGNAGE, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY MAINTAIN TRAFFIC IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION). THE DESIGN ENGINEER, OWNER, CITY AND COUNTY SHALL BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
11. ALL EXCAVATIONS SHALL BE SLOPED, SHORED OR BRACED IN ACCORDANCE WITH MI-OSHA REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AN ADEQUATELY CONSTRUCTED AND BRACED SHORING SYSTEM FOR EMPLOYEES WORKING IN AN EXCAVATION THAT MAY EXPOSE EMPLOYEES TO THE DANGER OF MOVING GROUND.

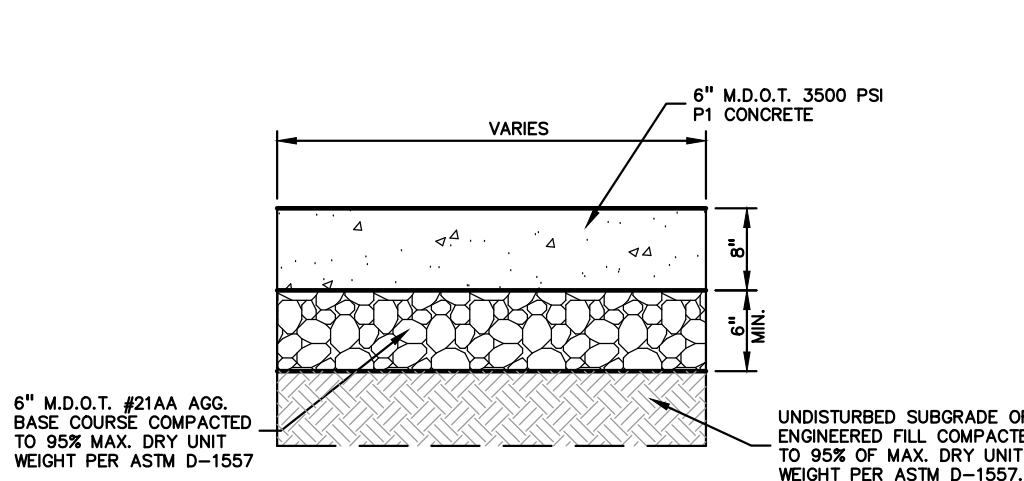
PAVING NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF NORTHFIELD TOWNSHIP.
2. IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
3. ON-SITE FILL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON-SITE SOIL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
4. THE FINAL SUBGRADE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROFFEROLLED USING A FULLY LOADED TANDUM AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A LICENSED GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEORIGIDS OR REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
5. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
6. SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED WITH SAND OR OTHER SIMILAR APPROVED MATERIAL. BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
7. BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED ON DETAILS.
8. ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
9. FINAL PAVEMENT ELEVATIONS SHOULD BE SO DESIGNED TO PROVIDE POSITIVE SURFACE DRAINAGE. A MINIMUM SURFACE SLOPE OF 1.0 PERCENT IS RECOMMENDED.
10. CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL LIFT THICKNESS COULD BE INCREASED, AND PLACEMENT OF THE FINAL LIFT COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.

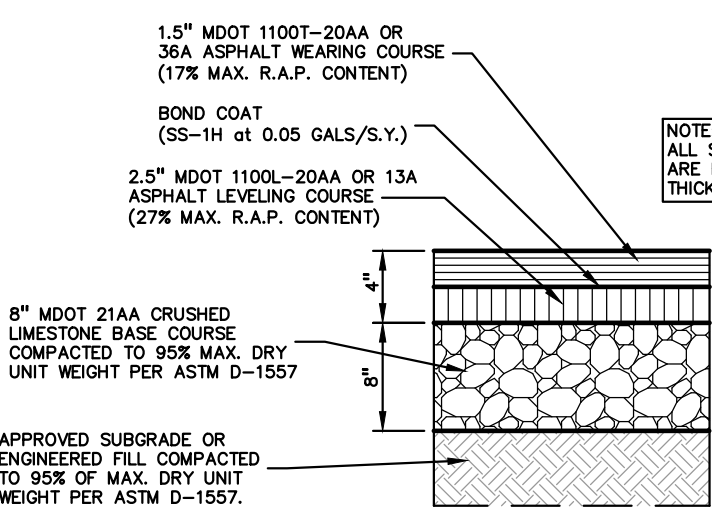
GENERAL BARRIER FREE NOTES:

THE FOLLOWING NOTES PROVIDE AN OUTLINE OF SOME OF THE REQUIREMENTS CONTAINED WITHIN THE "STANDARDS FOR ACCESSIBLE DESIGN - AMERICANS WITH DISABILITIES ACT 2010", AND "ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES", ICC/ANSI A117.1-2009. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE REQUIREMENTS PRESENTED WITHIN THESE DOCUMENTS, WHICH ARE AVAILABLE IN FULL UPON REQUEST.

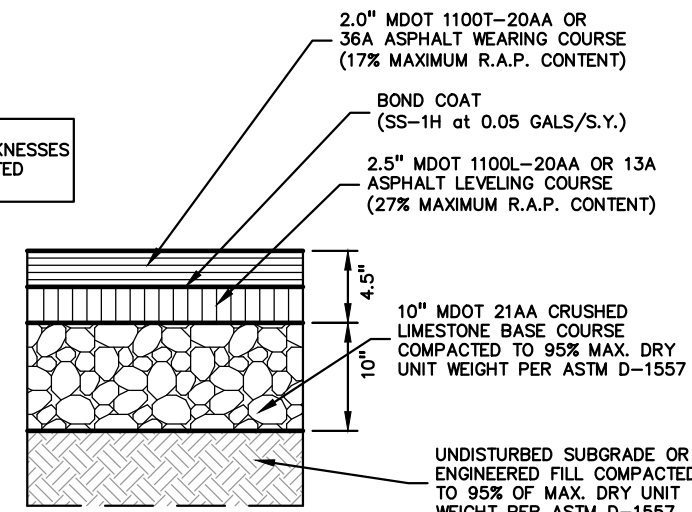
1. AN ACCESSIBLE ROUTE CONSISTS OF WALK SURFACES, CURB RAMPS AND RAMPS. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES, ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS AND SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE BUILDING OR FACILITY ENTRANCE THEY SERVE.
2. THE RUNNING SLOPE OF ALL WALKING SURFACES SHALL NOT EXCEED 5% (1:20) AND THE CROSS-SLOPE SHALL NOT EXCEED 2% (1:48).
3. WALKING SURFACES MUST BE LEVEL WITH PERMITTED VERTICAL CHANGES IN LEVEL NOT TO EXCEED 1/4", OR BEVELED CHANGES IN LEVEL NOT TO EXCEED 1/2". REFER TO DETAIL DET-8 THIS SHEET. ANY CHANGE IN LEVEL GREATER THAN 1/2" MUST BE RAMPED.
4. TURNING SPACES ALONG ACCESSIBLE ROUTES MUST BE AT LEAST 5 FEET WIDE IN ALL DIRECTIONS AND NOT EXCEED 2% SLOPE (1:48) IN ANY DIRECTION.
5. ACCESSIBLE ROUTES WILL BE DESIGNED TO BE A MINIMUM OF 5 FEET WIDE. THE MINIMUM CLEAR WIDTH IS 3 FEET.
6. RAMPS ALONG ACCESSIBLE ROUTES WILL HAVE A RUNNING SLOPE GREATER THAN 5% (1:20) AND LESS THAN 8.3% (1:12).
7. THE CROSS-SLOPE OF RAMP RUNS SHALL NOT EXCEED 2% (1:48)
8. THE MINIMUM CLEAR WIDTH OF ANY RAMP IS 36 INCHES.
9. CURB RAMPS ALONG ACCESSIBLE ROUTES SHALL NOT RISE MORE THAN 6 INCHES, NOR BE STEEPER THAN 8.3% (1:12). APPROACHING SLOPES TO THE RAMP CANNOT EXCEED 5% WHICH INCLUDES SIDEWALKS, PAVEMENT, GUTTERS ETC.
10. IF CURB RAMP SIDES ARE FLARED, THE FLARES SHALL NOT BE STEEPER THAN 10% (1:10).
11. LANDINGS ARE REQUIRED AT THE TOP OF ALL CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE A MINIMUM OF 36" AND WILL BE AS WIDE AS THE CURB RAMP.
12. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
13. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS.
14. WHERE DETECTABLE WARNING IS REQUIRED AT CURB RAMPS, THE DETECTABLE WARNING SHALL BE 24" MINIMUM IN DEPTH AND SHALL EXTEND THE FULL WIDTH OF THE RAMP. THE DETECTABLE WARNING SHALL BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES MINIMUM AND 8 INCHES MAXIMUM FROM THE CURB LINE.
15. FOR EVERY SIX OR FRACTION OF SIX ACCESSIBLE PARKING SPACES, ONE VAN ACCESSIBLE SPACE SHALL BE PROVIDED.
16. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM PARKING TO A BUILDING ENTRANCE. IF THERE IS MORE THAN ONE ACCESSIBLE ENTRANCE, PARKING SHALL BE DISPERSED ALONG THE SHORTEST ACCESSIBLE ROUTE TO THE ACCESSIBLE ENTRANCES.
17. BARRIER FREE CAR PARKING SPACES SHALL BE A MINIMUM OF 8 FEET WIDE WITH AN ACCESS AISLE 5 FEET WIDE MINIMUM. VAN ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 11 FEET WIDE WITH A 5' WIDE ACCESS AISLE. VAN ACCESSIBLE SPACES ARE ALSO ACCEPTABLE WITH AN 8 FOOT WIDTH AND 8 FOOT WIDE ACCESS AISLE. THE ACCESS AISLE IN ALL CASES MUST EXTEND THE FULL LENGTH OF THE PARKING SPACE.
18. SURFACE SLOPES WITHIN THE PARKING SPACES AND AISLES SHALL NOT EXCEED 2% (1:48)
19. ACCESSIBLE AREAS INCLUDING PARKING SPACES, AISLES AND PATHWAYS, REQUIRE A MINIMUM VERTICAL CLEARANCE OF 98 INCHES.
20. ACCESSIBLE PARKING SPACES ARE REQUIRED TO BE IDENTIFIED BY SIGNS. THE SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN PARKING SPACES ARE REQUIRED TO BE DESIGNATED AS "VAN ACCESSIBLE". REFER TO DETAILS ON THIS SHEET.



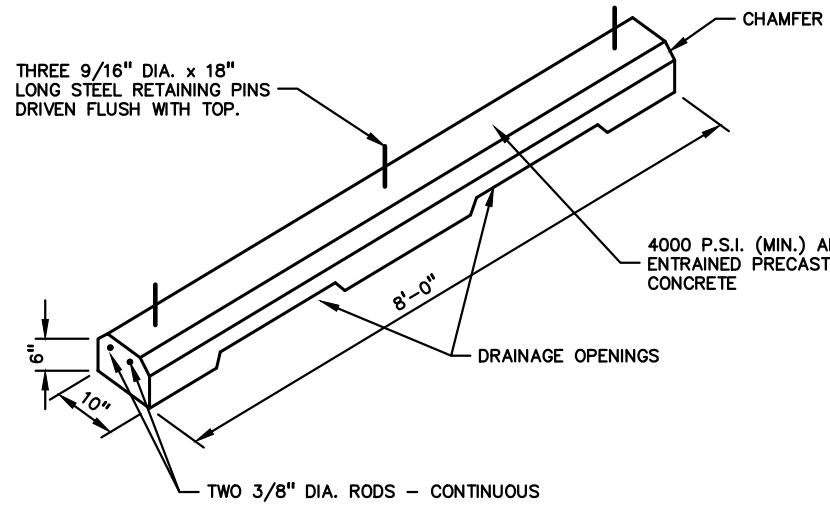
CONCRETE PAVEMENT DETAIL
NOT TO SCALE



STANDARD DUTY ASPHALT DETAIL
(NOT FOR USE IN THE RIGHT-OF-WAY) NOT TO SCALE



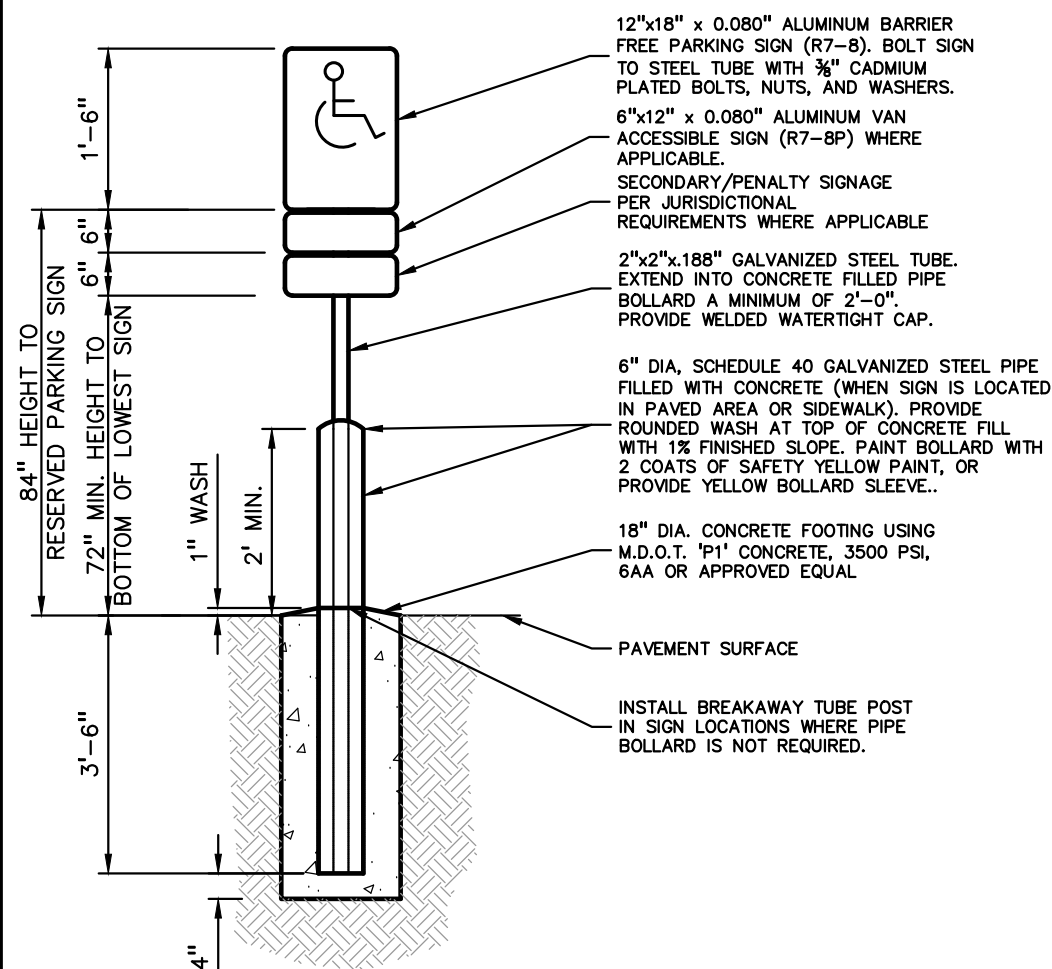
HEAVY DUTY ASPHALT DETAIL
FOR USE IN THE RIGHT-OF-WAY NOT TO SCALE



CONCRETE PARKING BUMPER
NOT TO SCALE

BARRIER FREE SIGN NOTES:

1. ONE SIGN IS REQUIRED AT EACH BARRIER FREE PARKING SPACE.
2. ALL SIGNS SHALL COMPLY WITH THE LATEST STANDARDS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
3. WHEN TWO BARRIER FREE PARKING SPACES ARE ADJACENT AND FACING EACH OTHER, TWO SIGNS ARE REQUIRED, BUT CAN BE MOUNTED ON THE SAME POST.
4. SIGN POSTS SHALL BE 2" NOM. SQUARE 14-GAUGE GALVANIZED STEEL TUBE WITH 7/16" HOLES AT 1" CENTERS. POSTS SHALL TELESCOPE INSIDE ANCHOR POSTS A MINIMUM OF 12".
5. ANCHOR POSTS SHALL BE 2.25" NOM. SQUARE 12-GAUGE GALVANIZED STEEL POST, A MINIMUM OF 3 FEET LONG.
6. IF THESE NOTES AND DETAILS CONFLICT WITH LOCAL CODES AND ORDINANCES, THE STRICTER REQUIREMENT SHOULD BE USED.
7. ALTERNATE MATERIALS MAY BE USED IF IN COMPLIANCE WITH A.D.A. GUIDELINES AND LOCAL REQUIREMENTS.



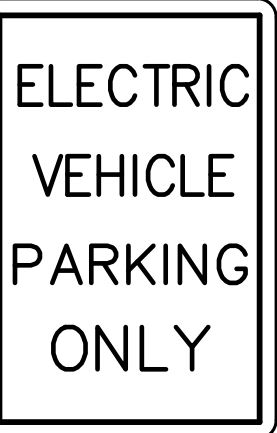
BARRIER FREE SIGN AND POST DETAIL
NOT TO SCALE

12" x 18" (R7-8)
GREEN BORDER AND
LEGEND
WHITE SYMBOL, BLUE
BACKGROUND,
REFLECTORIZED

NOTE:
MAY ONLY BE USED AT
11' WIDE SPACES LOCATED
ON THE LEFT SIDE OF A
5' WIDE AISLE, OR 8' WIDE
SPACES LOCATED TO THE
LEFT OF 8' WIDE AISLES



VAN ACCESSIBLE
PARKING SIGN DETAIL
NOT TO SCALE



12" x 18"
BLACK ON WHITE REFLECTORIZED
7'-0" MOUNTING HEIGHT

ELECTRIC VEHICLE
PARKING SIGN DETAIL
NOT TO SCALE

NO.	BY	CHK.	DESCRIPTION	DATE
3	SAP		PLAN REVISIONS	3/13/19
2	SAP		REV. PER OWNER	2/26/19
1	SAP		REV. PER OWNER	10/23/18

REVISIONS



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITIES AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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DES.	SAP	DN.	SUR.	PEA	THD
LITTLEFISH DESIGN 122 SOUTH MAIN STREET SUITE 275 ANN ARBOR, MI 48104					
DETAILS AND NOTES LITTLEFISH OFFICE BUILDING PART OF THE NW 1/4 OF SECTION 8 T. 1S. R. 6E. NORTHFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN					

ORIGINAL ISSUE DATE:
SEPTEMBER 17, 2018

PEA JOB NO. 2018-260

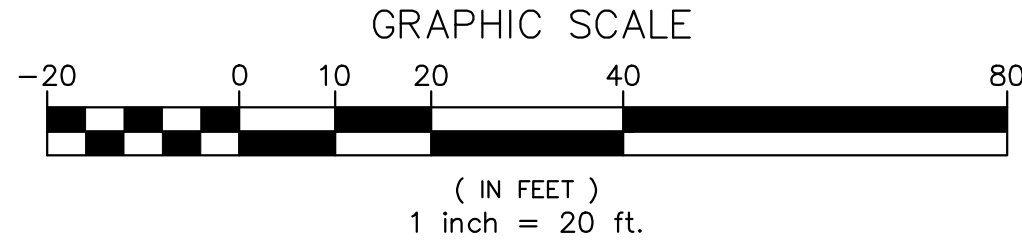
SCALE: 1" = 20'

DRAWING NUMBER:

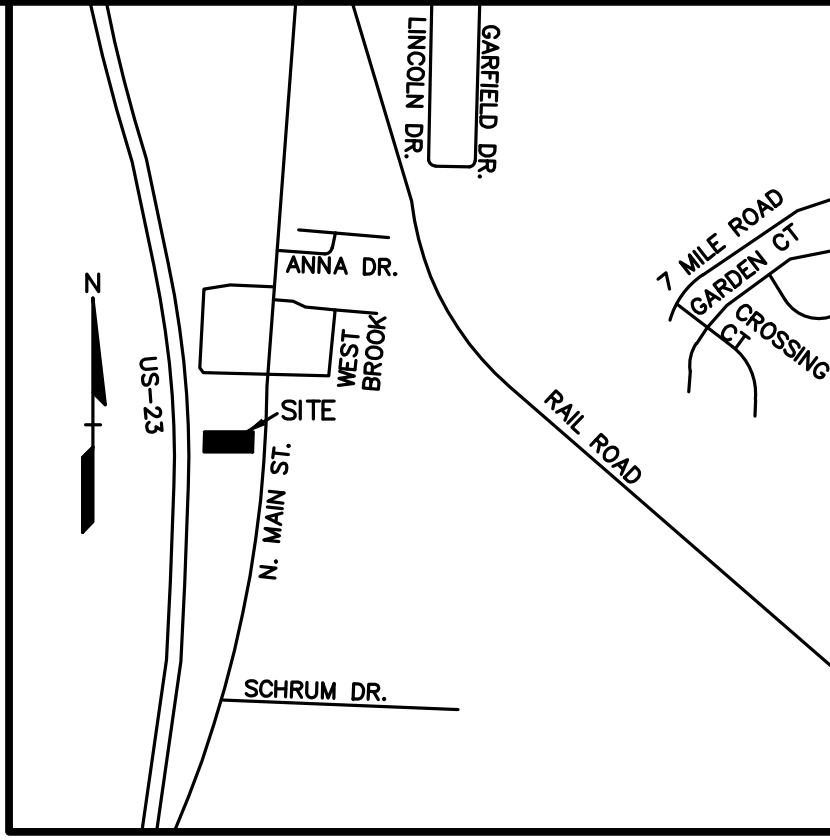
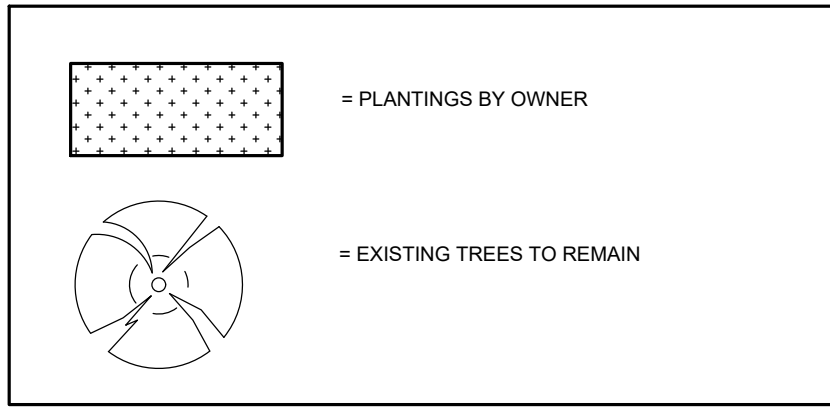
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NOT FOR CONSTRUCTION

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XREF: S:\PROJECTS\2018\2018260\DWG\SITE PLAN\BLK-18260.DWG



KEY:



LOCATION MAP – NOT TO SCALE

NO.	BY	DESCRIPTION	DATE
3	SAP	PLAN REVISIONS	3/13/19
2	SAP	REV PER OWNER	2/26/19
1	SAP	REV PER OWNER	10/23/18

REVISIONS



LANDSCAPE CALCULATIONS:
PER CITY OF NORTHFIELD TOWNSHIP ZONING ORDINANCE

PARKING LOT LANDSCAPE:

REQUIRED: 1 TREE / 8 CARS; 9 CARS/8 = 2 TREE REQ'D.

PROVIDED: 3 EXISTING TREES ON SITE.

NOTES: PER NORTHFIELD TOWNSHIP:
PLANT MATERIAL SHALL NOT BE PLANTED WITHIN 3' OF FENCE OR PROPERTY LINE.

NO TREES AND SHRUBS SHALL BE PLANTED IN CONFLICT WITH OVERHEAD UTILITY, FIRE HYDRANTS, CATCH BASINS OR MANHOLES AND UNDERGROUND UTILITIES.

EXISTING PLANT MATERIALS THAT ARE UNSIGHTLY, DEAD, DYING OR UNHEALTHY MUST BE REMOVED AND REPLACED.

ALL LAWN & LANDSCAPE SHALL BE MAINTAINED IN A REASONABLE HEALTHY CONDITION, FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN 1 YEAR OF DAMAGE OR DEATH OR NEXT APPROPRIATE PLANTING PERIOD.

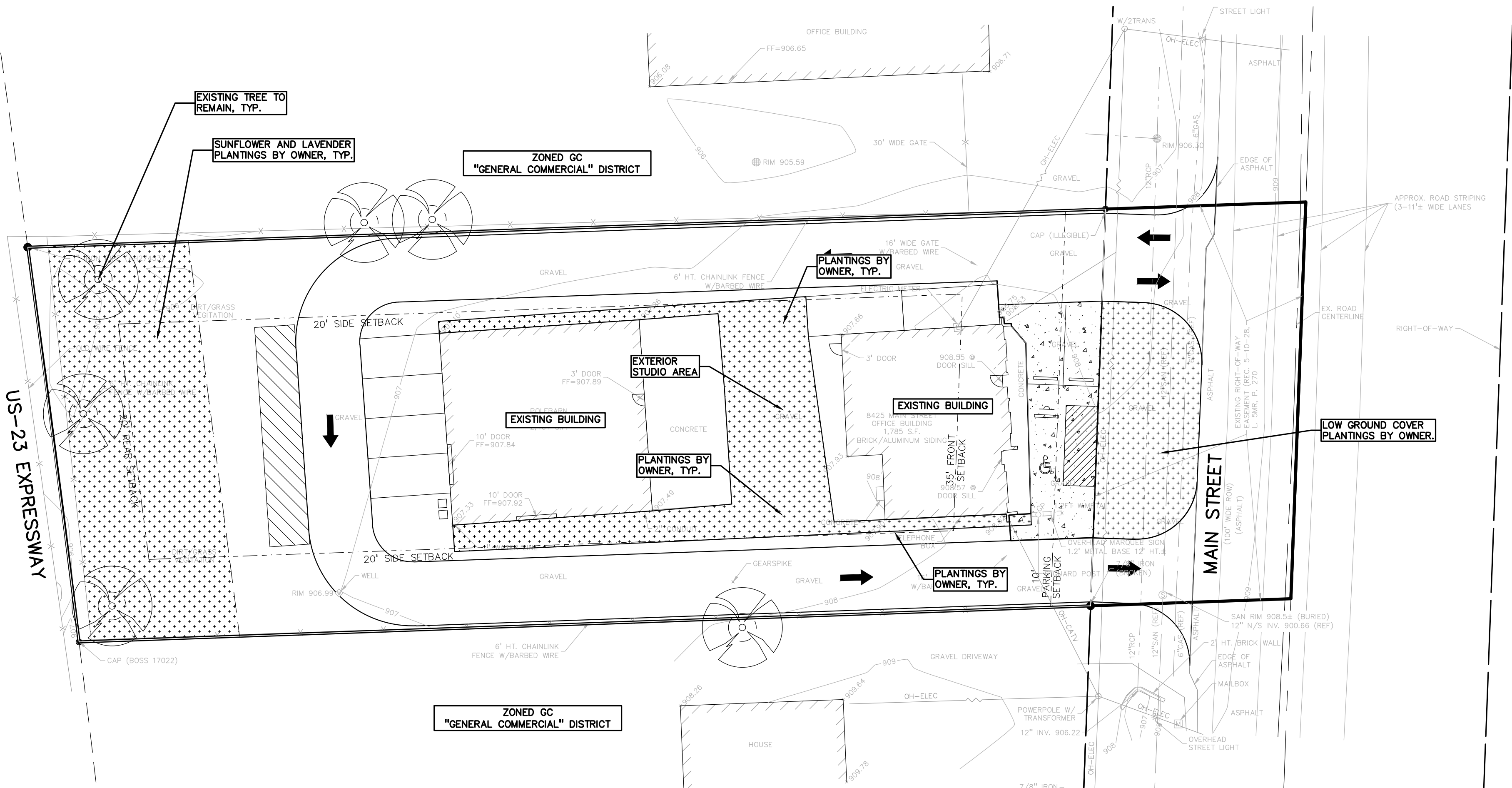
SEASONAL APPROPRIATE PRUNING SHALL BE DONE WHEN NECESSARY FOR SAFETY OF PEDESTRIANS AND MAINTAINING VEHICULAR SIGHT LINES. TREES SHALL BE REPLACED IF DISEASED OR DEAD.

ALL WATERING TO BE DONE BY HAND BY OWNER AS NEEDED.

RECOMMENDED PLANTING DATES ARE MARCH 1 TO MAY 15 FOR ALL MATERIALS AND OCT. 15 TO DEC. 15, WEATHER PERMITTING, FOR DECIDUOUS MATERIALS.

GENERAL PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1, GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.



"PLANNED UNIT DEVELOPMENT" DISTRICT

NOT FOR CONSTRUCTION

XREF: S:\PROJECTS\2018\2018260\DWG\18260-TOP\BASE.DWG
XREF: S:\PROJECTS\2018\2018260\DWG\SITE PLAN\X-BASE-18260.DWG
XREF: S:\PROJECTS\2018\2018260\DWG\SITE PLAN\BLK-18260.DWG

LITTLEFISH DESIGN
122 SOUTH MAIN STREET SUITE 275
ANN ARBOR, MI 48104

LANDSCAPE PLAN
LITTLEFISH OFFICE BUILDING
PART OF THE NW 1/4 OF SECTION 8, T. 15S, R. 8E,
NORTHFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

DES. SAE DN. SJB SUR. PEA THD
S:\PROJECTS\2018\2018260\DWG\SITE PLAN\X-BASE-18260.DWG

ORIGINAL ISSUE DATE:
SEPTEMBER 17, 2018

PEA JOB NO. 2018-260

SCALE: 1" = 20'

DRAWING NUMBER:
L-1.0